



Saltash Town Council

Konsel An Dre Essa



The Guildhall
12 Lower Fore Street
Saltash
PL12 6JX
Telephone: 01752 844846
www.saltash.gov.uk

Wednesday 10 March 2021

Dear Councillor

I write to summon you to the meeting of **Planning and Licensing Committee** to be held on the Virtual Zoom Platform on **Tuesday 16th March 2021 at 6.30 pm.**

The meeting is open to members of the public and press. Members of the public and press wishing to attend the meeting require the following details:

Web link:

<https://us02web.zoom.us/j/87535136153?pwd=ekZURzBvRjNhT1I1ZmREYmZwMVVjZz09>

Meeting ID: 875 3513 6153

Password: 553851

Dial by your location: 0203 481 5237 United Kingdom

Any member of the public requiring to put a question to the Town Council must do so 24 hours prior to the meeting by email enquiries@saltash.gov.uk

Yours sincerely,

R Lane
Town Clerk

To:

Saltash North	Saltash South	Saltash East	Saltash West
S Gillies J Peggs B Phillips B Samuels	M Fox (Vice-Chairman) S Lennox-Boyd S Martin A Pinckney	R Bickford R Bullock J Rance P Samuels	G Challen J Dent (Chairman) S Miller D Yates

Agenda

1. Announcements:
 - a. To confirm that all present can hear the proceedings.
 - b. Roll call of Members, Public and Press present.
 - c. To confirm the meeting is quorate.
 - d. Meeting procedure.
2. Recording of meetings - please notify the Chairman if you are intending to record this meeting.

Please note: All meetings are open to the public and could be filmed or recorded by broadcasters, the media, council members, the Council, or members of the public. Please be aware that whilst every effort is taken to ensure that members of the public are not filmed, we cannot guarantee this especially if you are speaking or taking an active role.
3. Apologies.
4. Declarations of Interest:
 - a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.
 - b. To receive any declarations from Members of Matters of Public Interest regarding matters to be considered at this meeting.
 - c. To consider dispensations required.
5. Questions - A 15-minute period when members of the public may ask questions of Members of the Council.

Please note: Questions must be submitted in writing to the Guildhall 24 hours before the meeting and that responses may be in writing at a later date.
6. To note and receive the minutes from the Planning and Licensing Committee held on Tuesday 16th February 2021 as a true and correct record. (Pages 7 - 12)
7. To consider Risk Management reports as may be received.

8. Planning: (Pages 13 - 154)

- a. To note that Councillor Lennox-Boyd will vote upon the information before her at the meeting but in the light of subsequent information received at Cornwall Council, Councillor Lennox-Boyd may vote differently at that meeting.
- b. To note that if Councillor Lennox-Boyd wishes to recommend opposite to the Town Council's view she will contact the Town Council by email. Considering time constraints, the Town Council will then hold an online poll of Councillors to determine whether to accept the Officer's view or to ask for the application to be called into committee. The results of these polls will be read into the record at the next Town Council meeting. Members of the public may request, via the Clerk, to be copied into any correspondence.
- c. Applications for consideration:

PA21/00837

Discombe – **11 Hawks Park Lower Burraton PL12 4SP**

Two storey side extension and internal alterations.

Ward: West

Date received: 17/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QNNKNAFGMUI00>

PA21/01198

Ross McConnell - **Wills Tenement Trehan Saltash PL12 4QN**

Listed Building Consent for replacement of concrete and roofing slate external window sills with solid slate sills; adding solid slate sill to window with no sill and replacement of quarry tiles with slate on plinth base of granite column.

Ward: West

Date received: 19/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QO78WDFGHE500>

PA21/00921

Mr J Richards - 9 Lower Port View St Stephens Saltash PL12 4BY
Demolish existing single garage and replace with double detached garage with home office / work space below.

Ward: East

Date received: 24/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QNUFSI FGJIH00>

PA21/01103

Mr Johannes Jansen - **7 Clover Walk Saltash Cornwall PL12 4UU**
First floor extension over existing garage. Previously approved in 2012.

Ward: West

Date received: 24/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QO0M5 8FGG7V00>

PA21/01232

Robert Morrish - **102 Grenfell Avenue Saltash Cornwall PL12 4JE**
Two storey rear extension.

Ward: North

Date received: 24/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QO7PO QFGHRM00>

PA21/01433

Saltash Town Council - **Saltash Town Council The Guildhall 12 Lower Fore Street Saltash PL12 6JX**

Installation of LED lighting to north and west elevations.

Ward: East

Date received: 26/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QODJJ2 FGLOL00>

PA21/01434

Saltash Town Council - **Saltash Town Council The Guildhall 12 Lower Fore Street Saltash PL12 6JX**

Listed Building Consent for the installation of LED lighting to north and west elevations.

Ward: East

Date received: 26/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QODJJ3FGLOM00>

PA21/02182

C/O Agent CEG Land Promotions Ltd, WH Bond & Sons Limited and Bond - **Land At Broadmoor Farm Stoketon Cornwall**

Application for non material amendment following grant of planning permission PA19/08250 namely various minor amendments

Ward: North

Date received: 04/03/21

Response date: 18/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QPARALFGJHM00>

PA21/01757

c/o agent Barratt David Wilson (Exeter) Ltd - **Land At Broadmoor Farm Stoketon Cornwall**

Reserved matters application for Phase 1, which comprises: the construction of 387 dwellings, public open space, landscape planting, pedestrian, cycle and vehicular links, 1 substation and one governor and associated infrastructure. (Details following outline application PA14/02447 dated 13.10.2017) Resubmission of application no. PA19/08297 dated 09/04/20.

Ward: North

Date received: 26/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QOS05HFGFLE00>

PA21/00082

Mr James Crump – **12 Gallacher Way Saltash Cornwall PL12 4UT**

Retention of conversion of double garage into an additional bedroom with ensuite with no amendments to size.

Ward: West

Date received: 02/03/21

Response date: 23/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QMI4V5FGJY500>

PA21/00980

Mr & Mrs K Hodge – **Longlands Bungalow Longlands Lane Burraton Coombe Saltash**

Proposed Extension

Ward: West

Date received: 09/03/21

Response date: 30/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QNWALRFG1VO00>

d. Tree applications:

PA20/11518

Matthew Smith - **Coombe Barn Babis Lane St Stephens PL12 4ET**

Proposal to fell T1 and T2.

Ward: South

Date received: 13/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QM25XNFGHYJ00>

PA21/01008

Mr Redfern – **14 Ashton Way Saltash PL12 6JE**

Proposed crown lift and reduction T1. And proposal to fell T2.

Ward: North

Date received: 16/02/21

Response date: 19/03/21

<https://planning.cornwall.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=QNWR9YFGL8Y00>

e. Tree notifications: None.

9. Consideration of licence applications: None.

10. Correspondence. (Pages 155 - 156)

a. St Austell China Clay Restoration and Tipping Supplementary Planning Document Consultation.

11. Public Bodies (Admission to Meetings) Act 1960

To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

12. To consider any items referred from the main part of the agenda

13. Public Bodies (Admission to Meetings) Act 1960

To resolve that the public and press be re-admitted to the meeting.

14. To consider urgent non-financial items at the discretion of the Chairman.

15. Press and social media releases.

Date of next meeting: Tuesday 20 April 2021 at 6.30 pm

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SALTASH TOWN COUNCIL

Minutes of the Meeting of the Planning and Licensing Committee held on the virtual platform Zoom on Tuesday 16th February 2021 at 6:30 p.m.

PRESENT: Councillors: J Dent - Chairman, S Martin, S Miller, W Phillips, B Samuels, P Samuels, D Yates, S Lennox-Boyd, R Bickford, G Challen, M Fox – Vice-Chairman, J Peggs, A Pinckney.

ALSO PRESENT: 2 Members of the Public, Cornwall Councillors S Tamlin, D Holley, R Lane - Town Clerk, S Burrows – Assistant Town Clerk, N Symons – Receptionist/Mayors Secretary, Fiona Morris – Planning and General Administrator.

APOLOGIES: Councillor – S Gillies.

ANNOUNCEMENTS:

The Chairman confirmed that all present could hear the proceedings.

The Chairman confirmed all persons present.

The Chairman confirmed the meeting was quorate.

The Chairman informed all attendees of the meetings procedures.

40/20/21 RECORDING OF MEETINGS – PLEASE NOTIFY THE CHAIRMAN IF YOU ARE INTENDING TO RECORD THIS MEETING

Receptionist/Mayors Secretary informed the Chairman that the meeting would be recorded for the purpose of minute taking.

41/20/21 DECLARATIONS OF INTEREST

- a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.
- b. To receive any declarations from Members of Matters of Public Interest regarding matters to be considered at this meeting.

Councillor	Agenda Item	Pecuniary/ Non- Pecuniary	Reason	Left the Meeting
Cllr Lennox-Boyd	PA20/10644	Non-Pecuniary	Friend	Yes

- c. To consider dispensations required.

None.

42/20/21 QUESTIONS FROM THE PUBLIC

None.

43/20/21 TO NOTE AND RECEIVE THE MINUTES OF THE PLANNING AND LICENSING COMMITTEE HELD ON TUESDAY 19th JANUARY 2021 AS A TRUE AND CORRECT RECORD.

Please see a copy of the minutes on the STC website.

It was proposed by Councillor J Dent, seconded by Councillor M Fox and **RESOLVED** that the minutes of the Planning and Licensing Committee held on Tuesday 19th January 2021 were confirmed as a true and correct record.

The minutes will be signed upon the return to the Guildhall and made available upon request.

44/20/21 TO CONSIDER RISK MANAGEMENT REPORTS AS MAY BE RECEIVED

No report.

45/20/21 PLANNING

- a. To note that Councillor Lennox-Boyd will vote upon the information before her at the meeting but in the light of subsequent information received at Cornwall Council, Councillor Lennox-Boyd may vote differently at that meeting.
- b. To note that if Councillor Lennox-Boyd wishes to recommend opposite to the Town Council's view she will contact the Town Council by email. Considering time constraints, the Town Council will then hold an online poll of Councillors to determine whether to accept the Officer's view or to ask for the application to be called into committee. The results of these polls will be read into the record at the next Town Council meeting. Members of the public may request, via the Clerk, to be copied into any correspondence.
- c. Applications for consideration:

PA20/05269

Mr & Mrs T & S Arnold – **Crooked Inn (Managers Dwelling)**
Liskeard Road Trematon Saltash PL12 4RZ

Variation of condition 5 of decision PA13/03126 dated 11/10/2013
Alterations and variations to extant consented managers dwelling (under construction) and associated works.

Ward: West

It was proposed by Councillor Dent, seconded by Councillor Fox and **RESOLVED** to respond to Cornwall Council Planning Officer with option 3:

Having made strong planning reasons to maintain your original position on the proposal against my recommendation, it is requested that the application is determined by the Planning Committee.

PA21/00219

Mr & Mrs Tambling – **114 Callington Road Saltash PL12 6EA**
Revised porch and addition of dormer to the south elevation.

Ward: North

Date received: 15/01/21

It was proposed by Councillor B Samuels, seconded by Councillor Peggs and resolved to **RECOMMEND APPROVAL**.

PA21/00411

Mr Alan Donovan – **1 The Moorings Babis Lane St Stephens PL12 4FG**

Installation of a new window in the West elevation. Installation of sliding doors and additional window glazing on the ground floor North elevation.

Ward: South

It was proposed by Councillor Lennox-Boyd, seconded by Councillor Martin and resolved to **RECOMMEND APPROVAL**.

Councillor Lennox-Boyd declared an interest in the next agenda item and left the meeting.

PA20/10644

REVISED PLANS

Mr D Watson – **12 Sunningdale Road St Stephens Saltash PL12 4BN**

Erection of a single dwelling.

Ward: West

PA20/10644 - Please note that the Planning Officer has stated:

Following the initial comments from the Town Council on the scheme, I have been in negotiations with the applicant and the following changes have been proposed:

- A reduction in height of the property by 1.2m.
- The footprint of the dwelling has been pushed back by approx. 1.8m and slightly reshaped to be more in line with the neighbouring property which better reflects the arrangement of the street frontage.

The plan you've referenced is the only revised plan - 01.02.21. Plan Proposed Mixed - Drawing Number 20/11/2C Proposed Elevations, Floor Plan and Site Plan.

It was proposed by Councillor Challen, seconded by Councillor Miller and resolved to **RECOMMEND APPROVAL**.

Councillor Lennox-Boyd was invited and returned to the meeting.

PA21/00406

Mrs Sarah Hilder – **Tor Hendra Tor Hill Saltash Cornwall, PL12 4QG**

Listed Building Consent to replace the lounge and primary bedroom windows, front door and change the dining room doors from french doors to bi-fold doors.

Ward: West

It was proposed by Councillor Yates, seconded by Councillor Miller and resolved to **RECOMMEND APPROVAL.**

PA21/00945

Ms M Blows – **43 Grassmere Way, Saltash, PL12 6XE.**

Erection of conservatory.

Ward: North

It was proposed by Councillor B Samuels, seconded by Councillor Phillips and resolved to **RECOMMEND APPROVAL.**

PA21/00004/NDP

Saltash Town Council - Plan Proposal Submitted for Saltash Neighbourhood Development Plan

Councillor Yates updated Members on the Saltash Neighbourhood Development Plan.

Members of the council thanked Cllr Yates, Bill Holman, and the Neighbourhood Development Plan Team for all their hard work and commitment.

d. Tree applications:

None.

e. Tree notifications:

None.

46/20/21

CONSIDERATION OF LICENCE APPLICATIONS:

None.

47/20/21 CORRESPONDENCE

None.

48/20/21 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that Pursuant to Section 1(2) of the Public Bodies (Admissions to Meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

49/20/21 TO CONSIDER ANY ITEMS REFERRED FROM THE MAIN PART OF THE AGENDA

None.

50/20/21 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that the public and press be re-admitted to the meeting.

51/20/21 URGENT NON-FINANCIAL MATTERS BROUGHT FORWARD AT THE DISCRETION OF THE CHAIRMAN

None.

52/20/21 PRESS AND SOCIAL MEDIA RELEASES

It was **noted** that Saltash Neighbourhood Plan Press and Social Media Release has been issued and that any future Press and Social Media Releases would be issued by either STC or the Steering Group.

53/20/21 DATE OF NEXT MEETING

Tuesday 16th March 2021 at 6:30 p.m.

Rising at: 7:19 p.m.

Signed: _____

Chairman

Dated: _____



Saltash Town Council

Meeting of The Planning & Licensing Committee

Tuesday 16th March 2021 at 6.30 p.m.

Town Councillors:

Saltash North:

S Gillies

J Peggs

W Phillips

B Samuels

Saltash South:

M Fox – Vice Chairman

S Lennox-Boyd

S Martin

A Pinckney

Saltash East:

R Bickford

R Bullock

J Rance

P Samuels

Saltash West:

G Challen

J Dent - Chairman

S Miller

D Yates

Agenda items 1 a-d

Announcements:

To confirm that all present can hear the proceedings.

Roll call of Members, Public and Press present.

To confirm the meeting is quorate.

Meeting procedure.

Agenda items 2-3

Recording of meetings – please notify the Chairman if you are intending to record this meeting.

Please note: All meetings are open to the public and could be filmed or recorded by broadcasters, the media, council members, the Council, or members of the public. Please be aware that whilst every effort is taken to ensure that members of the public are not filmed we cannot guarantee this especially if you are speaking or taking an active role.

Apologies

Agenda items 4 a-c

Declarations of Interest:

To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.

To receive any declarations from Members of Matters of Public Interest regarding matters to be considered at this meeting.

To consider dispensations required.

Agenda item 5

Questions

A 15 minute period when members of the public may ask questions of Members of the Council.

Please note: Questions must be submitted in writing to the Guildhall 24 hours before the meeting and that responses may be in writing at a later date.

Agenda item 6

To note and receive the minutes of the Planning and Licensing Committee held on Tuesday 16th February 2021 as a true and correct record.

Agenda item 7

To consider Risk Management reports as may be received.

Agenda item 8 a-b

Planning:

To note that Councillor Lennox-Boyd will vote upon the information before her at the meeting but in the light of subsequent information received at Cornwall Council, Councillor Lennox-Boyd may vote differently at that meeting.

To note that if Councillor Lennox-Boyd wishes to recommend opposite to the Town Council's view she will contact the Town Council by email. Considering time constraints, the Town Council will then hold an online poll of Councillors to determine whether to accept the Officer's view or to ask for the application to be called into committee. The results of these polls will be read into the record at the next Town Council meeting. Members of the public may request, via the Clerk, to be copied into any correspondence.

Planning Applications

8c

PA21/00837 – 11 Hawks Park Lower Burraton PL12 4SP

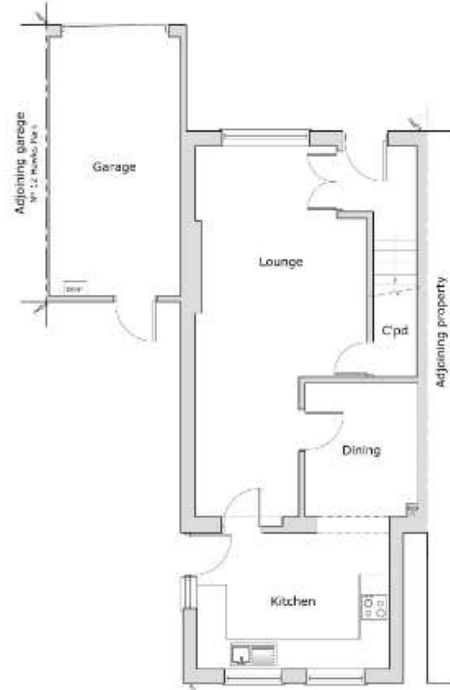
Two storey side extension and internal alterations.

Response Date: Extension to 19.03.21.

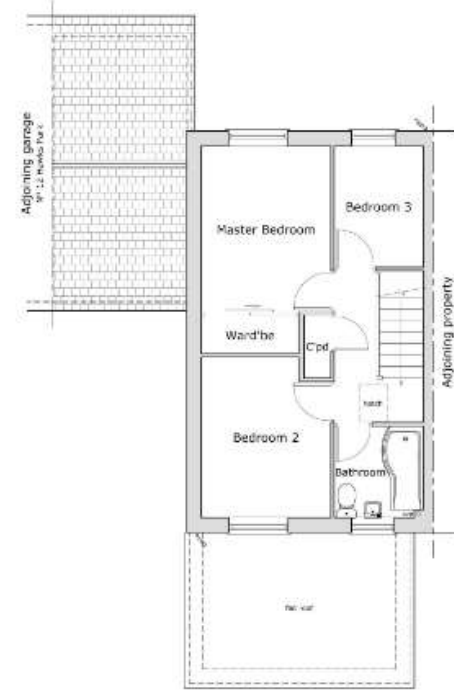
PA21/00837
Existing
Plans &
Elevations
(Includes
Location)



site plan (1:100)



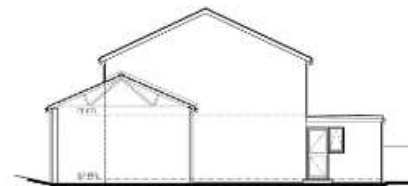
ground floor plan (1:50)



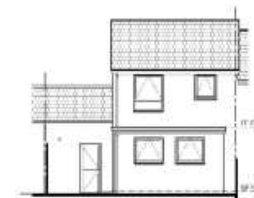
first floor plan (1:50)



north facing elevation (1:100)



west facing sectional elevation (1:100)



south facing elevation (1:100)



PA21/00837

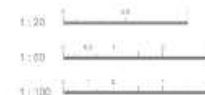
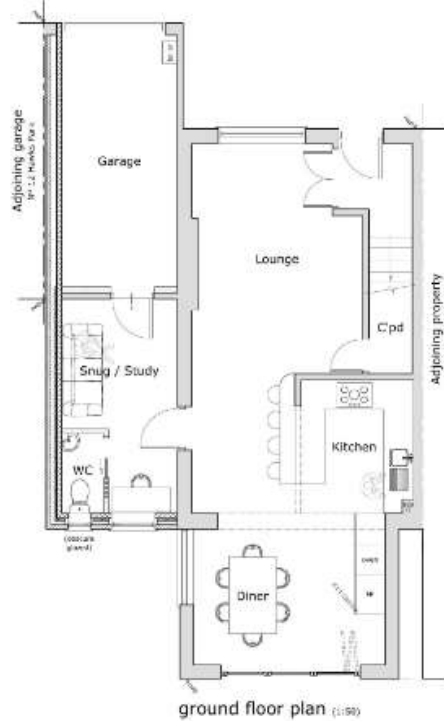
Proposed

Plans & Elevations

PA21/00837

Proposed

Plans & Elevations



Introduction

- 1.1 This Flood Risk Assessment (FRA) has been prepared by Montagu Town Planning, on behalf of Mr J Discombe who owns the application site.
- 1.2 This statement is submitted in support of a household planning application for the construction of a two storey side extension to the existing dwellinghouse on the application site.
- 1.3 An initial inspect of the Environment Agency's (EA) indicative flood map shows that the application site is located within Flood Zone 1 and is therefore at a low risk of flooding. Further investigation and inspection of Cornwall Council's flood mapping system shows that the application site is located within the Saltash Critical Drainage Area (CDA), and as such it is required that the planning application is accompanied by a Flood Risk Assessment (FRA).

- 1.4 This FRA has been prepared in accordance with the Technical Guidance to the National Planning Policy Framework (NPPF) and with the guidance contained in the Council's Strategic Flood Risk Assessment Level 1 document. In accordance with the guidance contained in paragraph 5 of the Technical Guidance to the NPPF, a brief FRA is required, which has to identify how surface water run-off from the proposed development will be disposed of.
- 1.5 The site, which measures some 205 square metres in extent and is currently developed with a semi-detached double storey dwelling and attached garage which has a footprint measuring some 68 square metres in extent. To the side of the existing dwelling is a hard surfaced parking space. The site has a large private front and rear garden, which are undeveloped and measures in the region of 133 square metres in extent.
- 1.6 Planning permission is sought for a double storey attached extension to the existing dwelling which will be sited to the one side of the existing dwelling. The proposed extension will have a footprint measuring some 12 square metres in extent.

- 1.7 Notwithstanding the size of the proposed extension, this would still leave an undeveloped private garden measuring some 125 square metres.
- 1.8 As the site is not located in an area at risk from surface water flooding or flooding from rivers or the sea, the key issue to consider is the appropriate drainage system design for the site, to ensure that flood risk is not increased off site as a result of the proposal. The proposed development is for a householder form of development, which will leave a large proportion of the rear garden undeveloped. This undeveloped portion of the garden currently accommodates a SuDS which manages run-off and water quality, in line with the requirements of the CDA report.
- 1.9 It is appreciated that the development of the site would result in an increase in covered surfaces over the existing situation. However, as set out previously, there will still be a large undeveloped front garden accommodating the required SuDS, which would significantly reduce the risk of surface water flooding off-site and manage water quality.

- 10 The site is not located close to any streams or major watercourses and therefore the site is not at risk of fluvial flooding.
- 1.11 Percolation test results have also been produced, which show the rate at which water will drain from the soil on-site. This test determines the rate of water absorption into the ground. The procedure measures how long it takes a measured amount of water to drain away from a saturated hole dug into the ground; the result determines the suitability (and permeability) of the soil, and ensures that the ground has sufficient drainage capacity to handle the amount of water that will come from the drainage field you intend to install.
- 1.12 It is evident from the submitted Percolation test results that the average **Vp** number is between the required 15 and 100 and as such the soil's percolation rate is suitable for the soakaway.

- 1.13 In conclusion, based on the findings of this Assessment, and following the standing advice issued by the EA and Cornwall Council, the application site has been shown to be located within Flood Zone 1 and as such should be acceptable to Cornwall Council in terms of flood risk.
- 1.14 As the site is located within a Critical Drainage Area special consideration has to be given to any additional surface run-off water resulting from the proposed development. All the proposed drainage infrastructure must be designed in accordance with the guidance outlined in the Drainage Guidance for Cornwall (DGfC) document, which also requires that such infrastructure complies with the relevant Building Regulations legislation.

- 15 This Assessment has demonstrated that the proposed development will not adversely impact on flood risk in any material respect. As such, there are no objections to this proposed development on flood risk grounds: however, in the event of any concerns in this respect, it will be appropriate for a suitably worded planning condition to be imposed requiring details of a scheme for the disposal of surface water to be submitted to and approved by the Council, prior to the commencement of any development on-site.

Percolation testing result sheet

Site : 11 Hawks Park, Lower Burraton, Saltash PL12 4SP

Test hole for the percolation test was carried out on the site of the proposed soakaway location.

Test hole was 1.5m deep and 300mx300m square.

Hole filled to 300mm, time taken for water to drain from 75% (225mm) to 25% (75mm) timed in seconds.

Test 1

24/01/2021 13:00 Test conditions - rain, ground saturated.

Time taken - 54min 35sec

$54.35 \times 60 = 2661\text{sec}$

$3261 \text{ divided by } 150 = 21.74$

VP = 21.74seconds

Test 2

25/01/2021 17:30 Test conditions - overcast, ground damp.

Time taken - 48min 50sec

$$48.50 \times 60 = 2910\text{sec}$$

$$2910 \text{ divided by } 150 = 19.40$$

$$\mathbf{VP = 19.40}$$

Test 3

26/01/2021 18:00 Test conditions - rain, ground saturated.

Time taken - 53min 05sec

$$53.05 \times 60 = 3183$$

$$3183 \text{ divided by } 150 = 21.22$$

$$\mathbf{VP = 21.22}$$

VP

$$21.74 + 19.40 + 21.22 = 62.36$$

$$62.36 \text{ divided by } 3 = 20.79$$

$$\text{Average VP} = 20.79$$

Planning Applications

8c

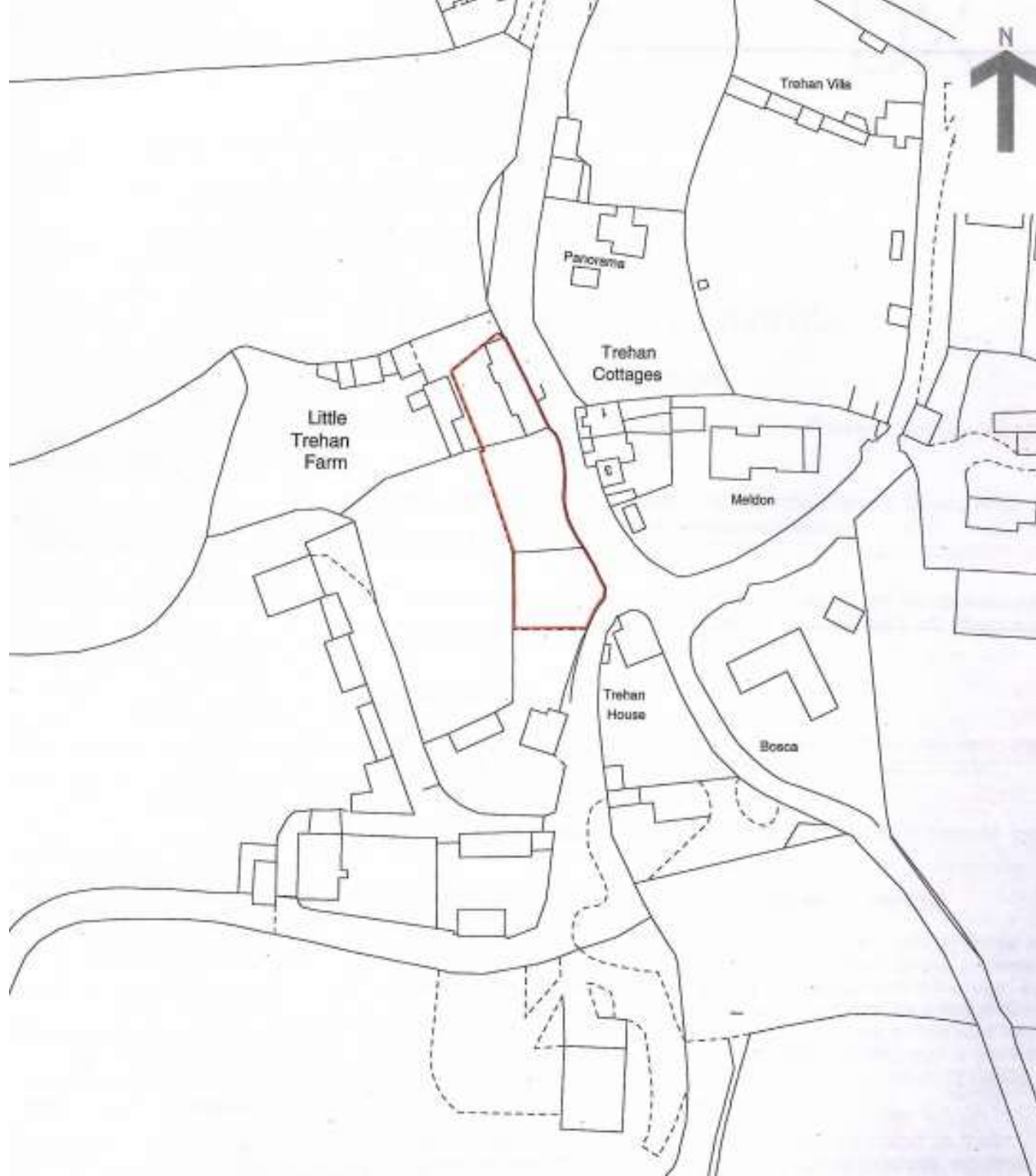
PA21/01198 – Wills Tenement Trehan Saltash PL12 4QN

Listed Building Consent for replacement of concrete and roofing slate external window sills with solid slate sills; adding solid slate sill to window with no sill and replacement of quarry tiles with slate on plinth base of granite column.

Response Date: Extension to 19.03.21.

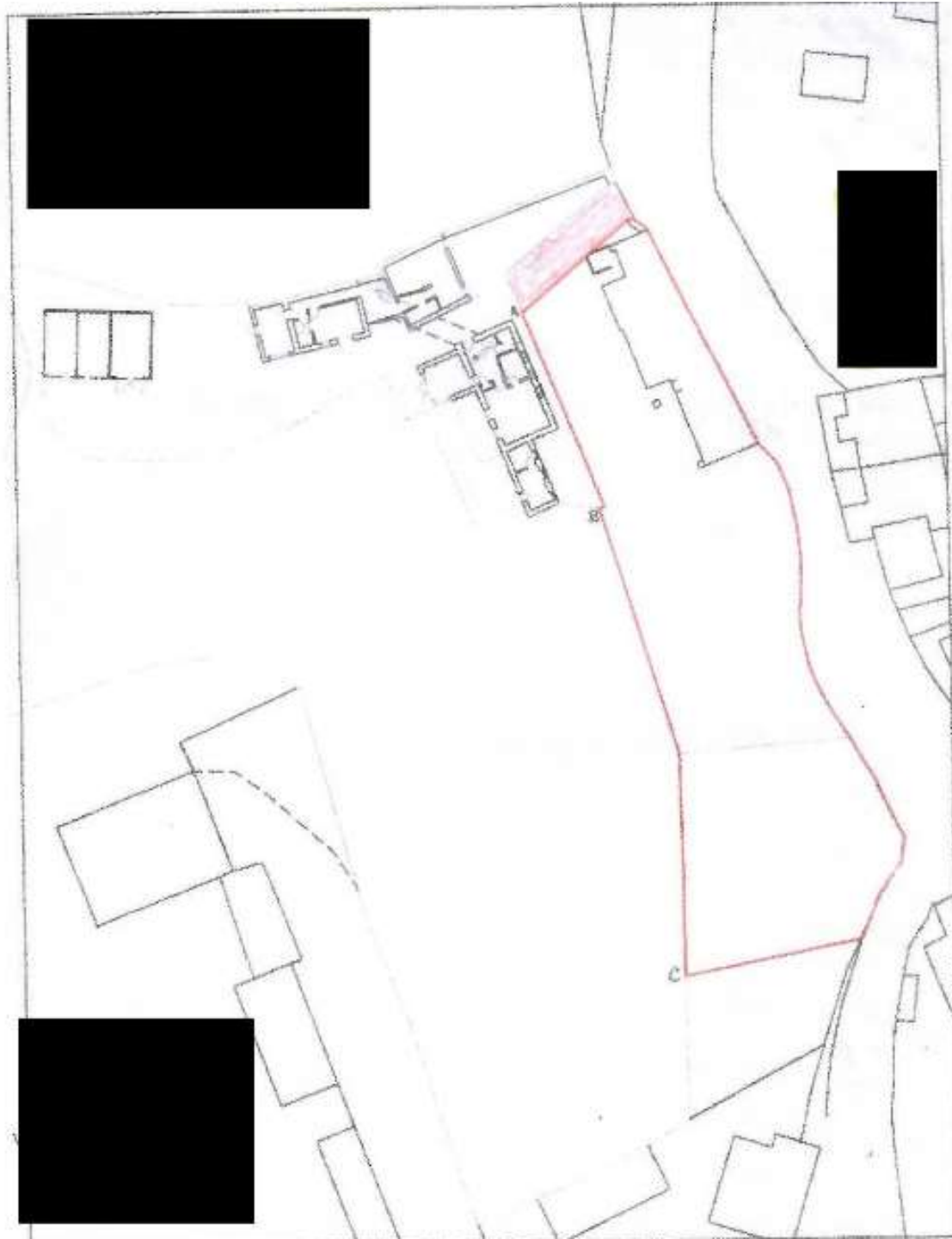
PA21/01198
Site Location

Page 36



PA21/01198
Site and Block

Page 37



1. Features on the existing site are:

Wills Tenement comprises a thatched farmhouse, detached and with an open south west aspect over countryside. Grade 2 listed, the property, with a well documented history, is believed to date from circa 1750 and has been restored and maintained by the current and previous owners. Whilst retaining many character and period features, the house also incorporates oil fired central heating and modern bath/shower rooms. Original period features include Yorkshire casement windows, slate flag flooring, inglenook fireplace with moulded granite lintel, exposed beams and a hipped roof stair turret amongst many others.

The property is approached over a private gravelled driveway (the first short section of which is shared with the neighbouring residential property) leading to a courtyard. Approached from the canopy porch there is a laundry/shower room and wc. The established gardens have a south and west aspect and have far reaching views. Immediately adjacent to the kitchen lies a slate paved patio leading onto the lawn. A stone arch leads into a secret walled garden which again is laid to lawn and well stocked with shrubs and trees.

2. Access issues:

No alterations to the existing access arrangements are proposed.

3. Layout of the proposed development:

4. Details of the scale/appearance of the proposed development: N/A

5. Landscaping: N/A

Please provide details of how **Heritage Assets** issues have been addressed

The sills to the west side of the property are of an inferior quality to the sills on the east side. It is proposed to improve and unify the appearance of the house by replacing the inferior quality sills with solid slate sills to match the appearance on the east side. At the same time it is proposed to introduce a matching sill to one window on the east side which currently has no sill, and also use the same solid slate material to improve the appearance of a plinth for a structural column.

The existing cement sills are liable to crack and allow water penetration. The replacement sills will not only be more aesthetic, and will provide greater protection against water penetration.

Introduction and significance

Wills Tenement, formerly known as Little Trehan Farm, is situated at the Southern lower end of the hamlet bordered East by a lane, and on the West by a converted barn. The building is residential, grade 2 listed as of 1982¹, and lies within the Tamar Valley Area of Outstanding Natural Beauty.

The property has a rich history , being mentioned in the Shillingham Manor records of the Buller family from the late 16th century. Anthony Wills of Trehan, a wealthy tanner, is recorded in the parish records of 1567, and a will of Anthony Wills dated 1619 bequeaths to his wife “...my tenement where I now dwell at the hour of my death..” The earliest specific reference to Wills Tenement in the parish records is dated 1675 for Richard and Thomas Wills, the sons of Anthony.

Interesting architectural features are the rectangular stair turret, the 18th century side ways sliding sash windows, the large fireplace with clome-oven and granite Tudor lintel.

From 1971 new owners restored and saved the property from dereliction. This process has continued through subsequent owners. The building has been altered over the years most recently with the conversion of an existing study into an internal downstairs shower room and WC and the replacement of existing UPC sliding patio doors with high quality bi fold doors.

There was the provision of a thatch roof replacing slates in 1988 and the construction of a store room and utility room. The original small study, now a shower room, was altered from a dairy many years ago. There are various permutations of external windows and doors.

The main structure is pointed rubble and stone work which has more recently been painted with a modern masonry paint. The main roof is thatch, with secondary slate roofs over the store, dining room and kitchen. The joinery is predominately painted timber. A mix of glazing, mainly single glazing and stained glass. The building is a domestic building, and is currently owned and occupied by the applicant.

Proposed alterations

The sills to the west side of the property are made of concrete embedded with roofing slate, whereas the slates to the east side are made of solid slate.

The concrete with embedded roofing slate sills are of an inferior quality to the solid slate sills. The concrete is prone to cracking, giving the possibility of water penetration.

It is proposed to improve and unify the appearance of the house by replacing the inferior quality sills with solid slate sills to match the appearance on the east side. At the same time it is proposed to introduce a matching sill to one window on the east side which currently has no sill, and also use the same solid slate material to improve the appearance of a plinth for a structural column.

PA21/01198

Photo 01

Plinth

Page 44



PA21/01198

Photo 02

Window No Sill

Page 45



PA21/01198
Photo 03
Window
Roofing Slate



PA21/01198
Photo 04
Window Solid
Slate Sill



Planning Applications

8c

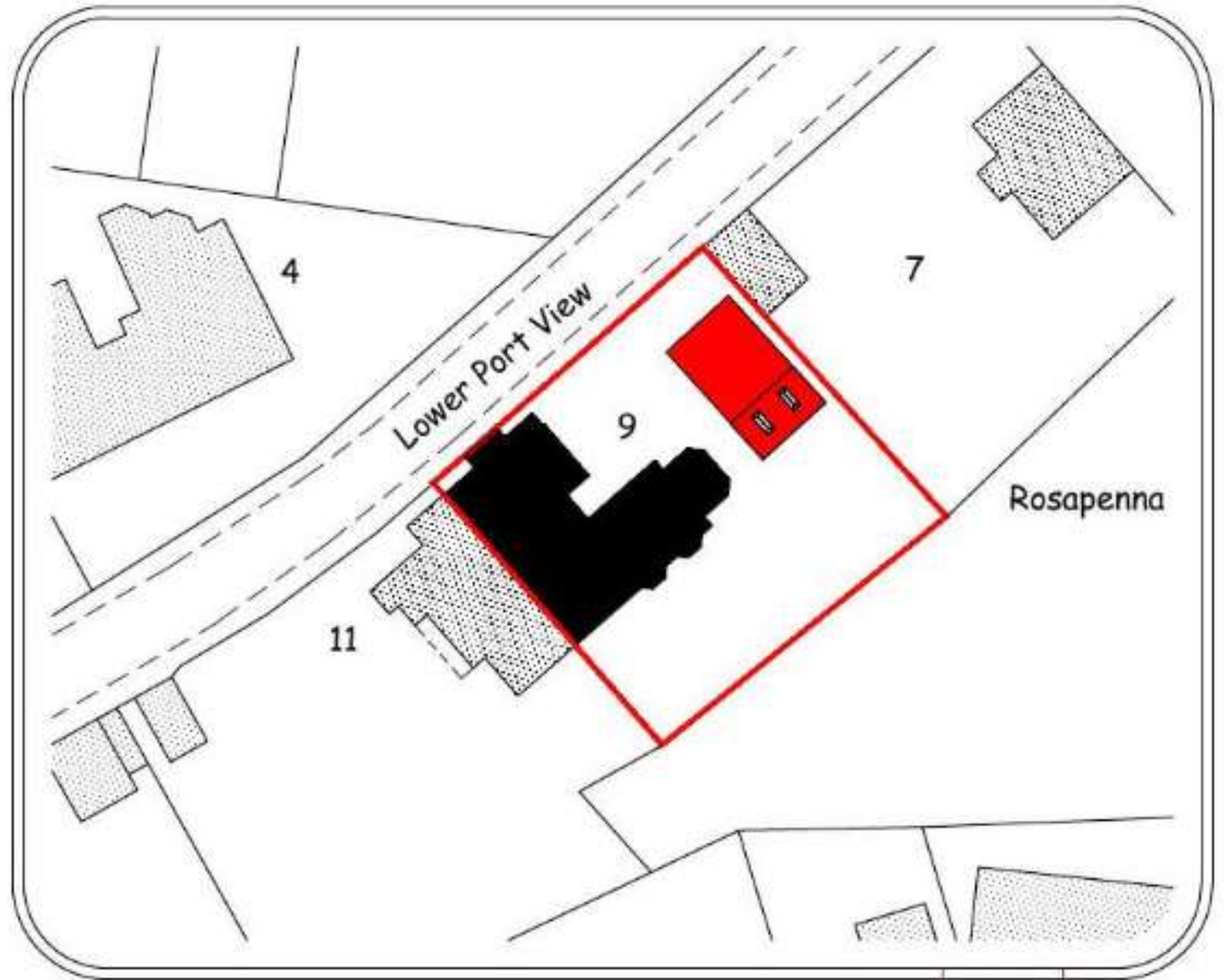
PA21/00921 – 9 Lower Port View St Stephens Saltash

Demolish existing single garage and replace with double detached garage with home office / work space below.

Response Date: Extension to 19.03.21

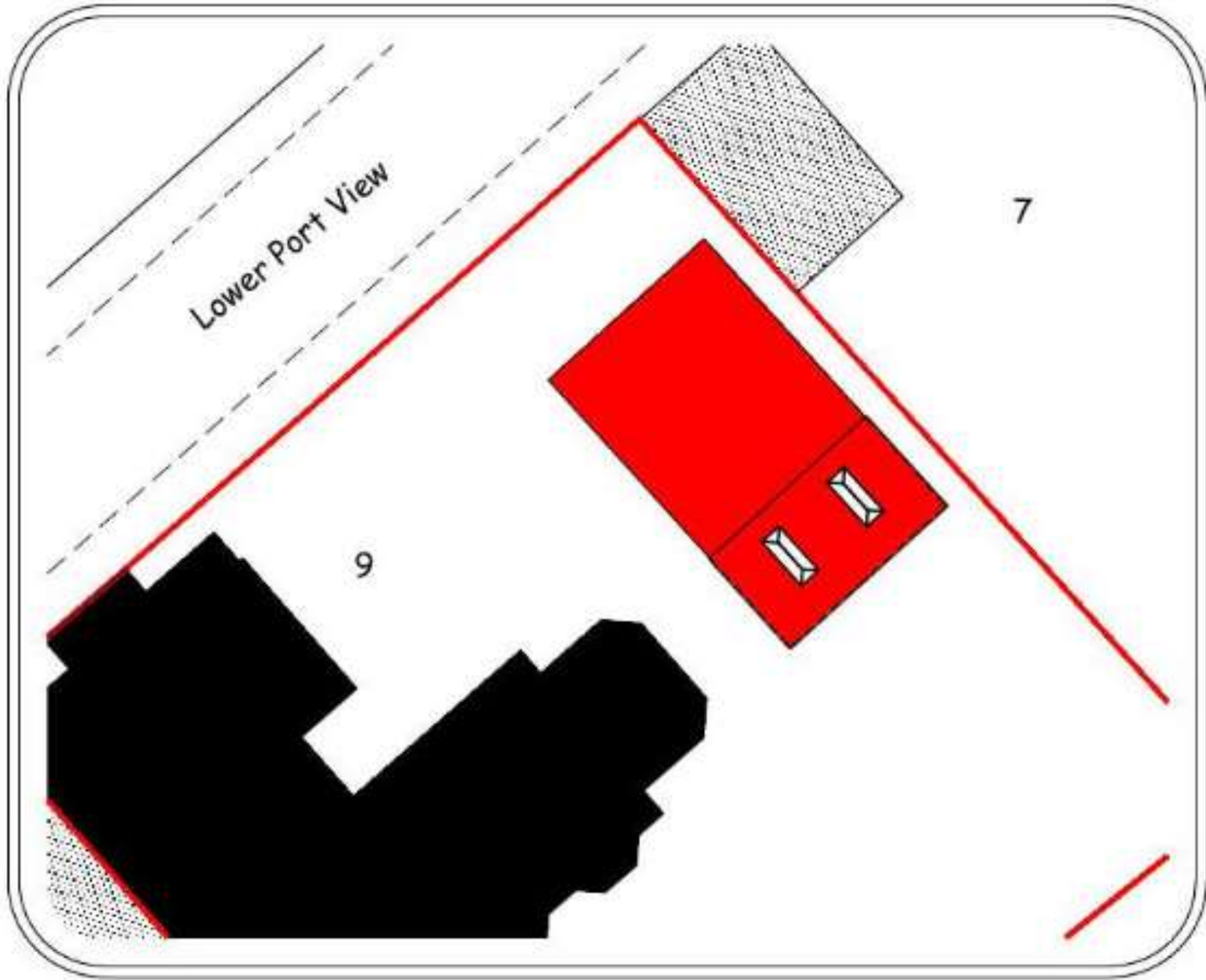
PA21/00921
Site Location

Page 49



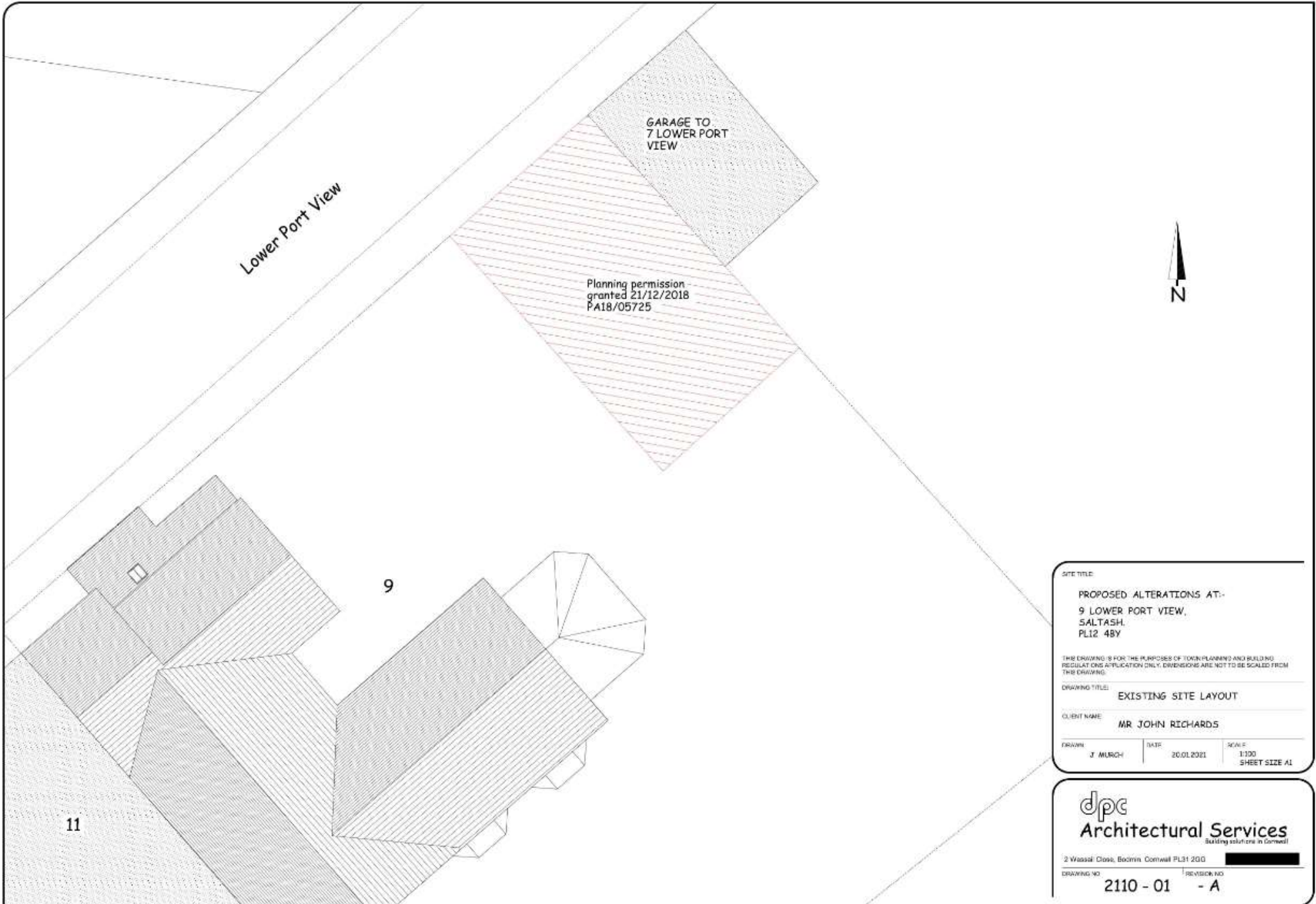
PA21/00921
Block Plan

Page 50



PA21/00921
Existing Site
Layout

Page 51



SITE TITLE:
PROPOSED ALTERATIONS AT:-
9 LOWER PORT VIEW,
SALTASH,
PL12 4BY

THIS DRAWING IS FOR THE PURPOSES OF TOWN PLANNING AND BUILDING
REGULATIONS APPLICATION ONLY. DIMENSIONS ARE NOT TO BE SCALED FROM
THIS DRAWING.

DRAWING TITLE:
EXISTING SITE LAYOUT

CLIENT NAME:
MR JOHN RICHARDS

DRAWN: J. MURCH	DATE: 20.01.2021	SCALE: 1:100 SHEET SIZE A1
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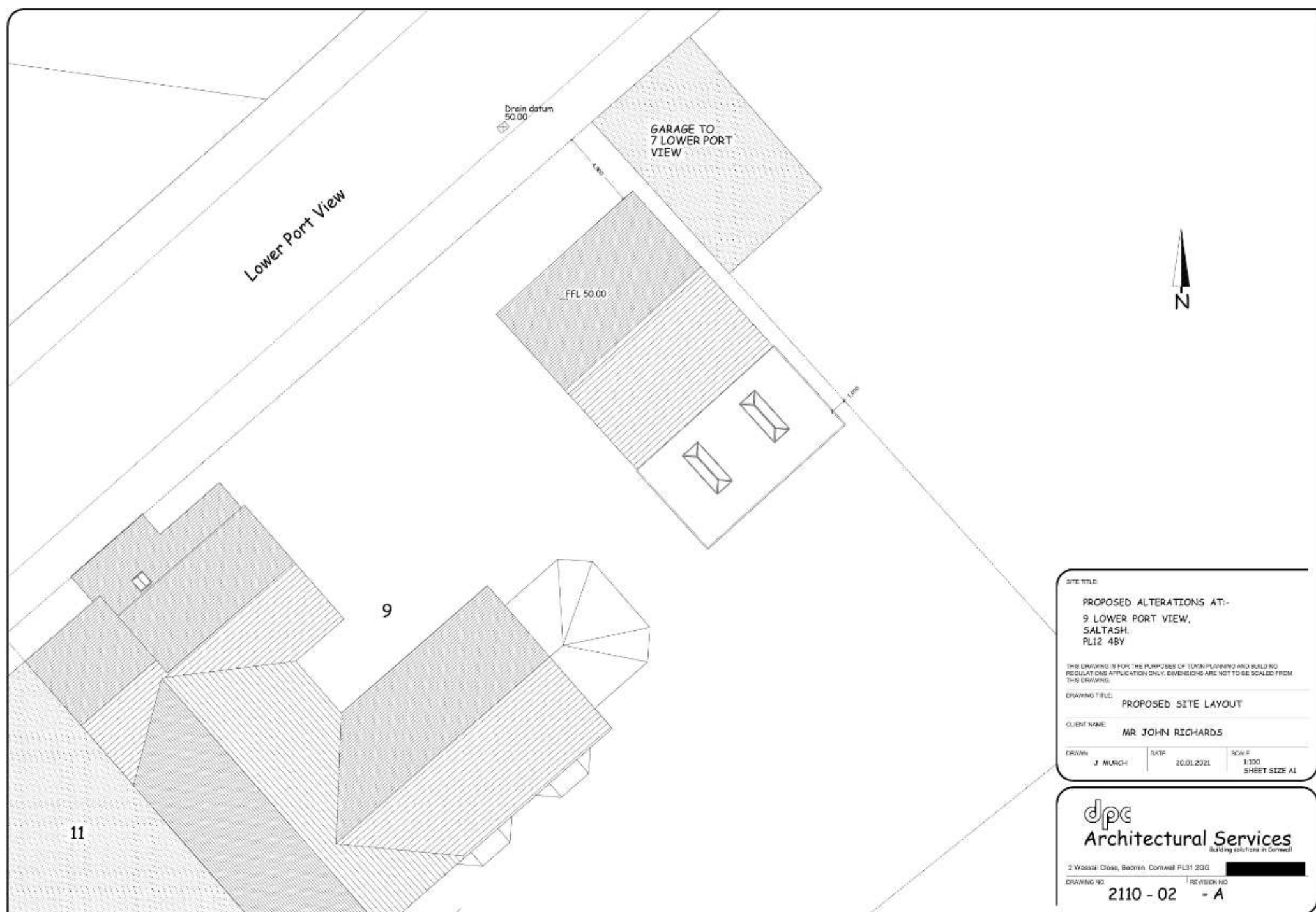
dpc
Architectural Services
Building solutions in Cornwall

2 Wessall Close, Bodmin, Cornwall PL31 2GG

DRAWING NO: 2110 - 01	REVISION NO: - A
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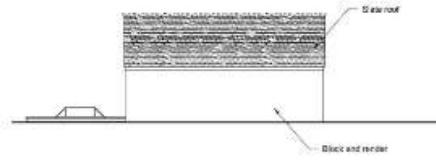
PA21/00921 Proposed Site Layout

Page 52

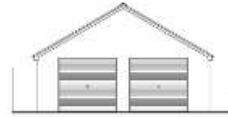


PA21/00921 Proposed Layout

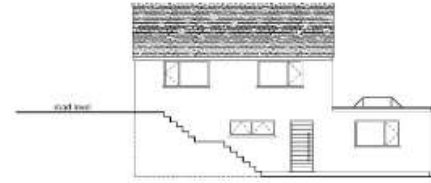
Page 53



Side North East elevation (scale 1:100)



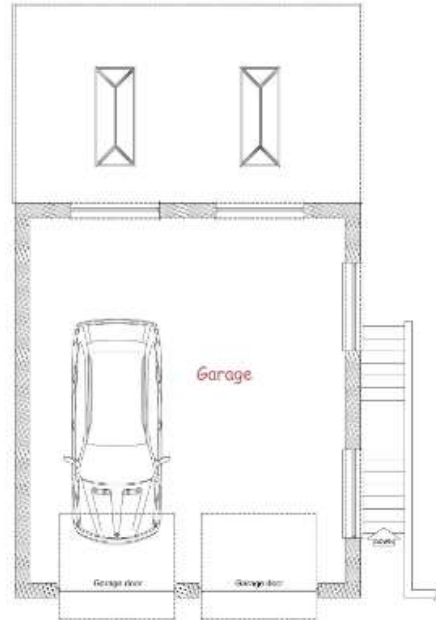
Front North West elevation (scale 1:100)



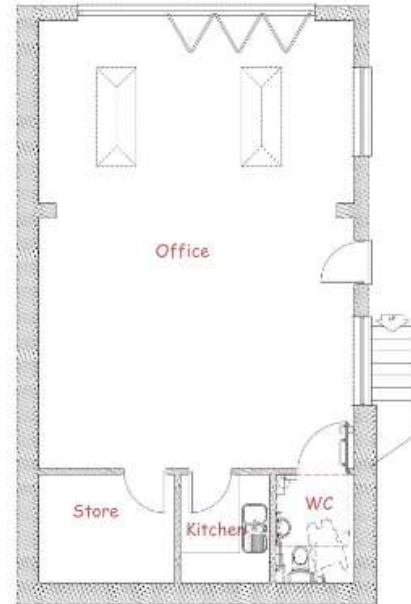
Side South West elevation (scale 1:100)



Rear South East elevation (scale 1:100)



Ground floor plan



Lower Ground floor plan

Scale 1:50
Distance in Meters

SITE TITLE:
PROPOSED ALTERATIONS AT:-
9 LOWER PORT VIEW,
SALTASH,
PL12 4BY

THIS DRAWING IS FOR THE PURPOSES OF TOWN PLANNING AND BUILDING
REGULATIONS APPLICATION ONLY. DIMENSIONS ARE NOT TO BE SCALED FROM
THIS DRAWING.

DRAWING TITLE:
PROPOSED LAYOUT

CLIENT NAME:
MR JOHN RICHARDS

DRAWN J. MURCH	DATE 20.01.2021	SCALE 1:50 SHEET SIZE A1
-------------------	--------------------	--------------------------------

dpc
Architectural Services
Building solutions in Cornwall

2 Wassall Close, Bodmin Cornwall PL31 2GG

DRAWING NO
2110 - 06

REVISION NO
- A

Use

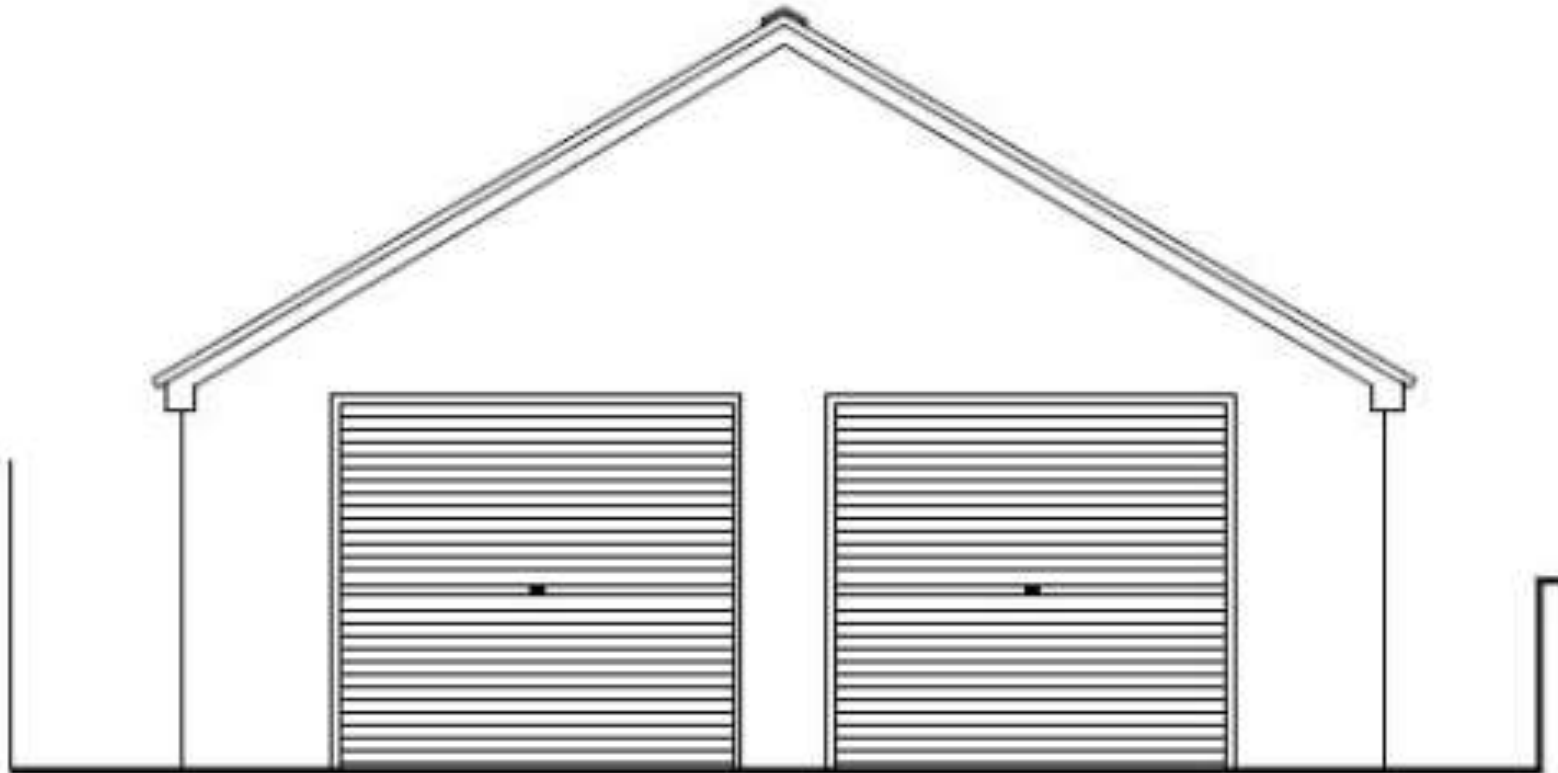
The current garage at 9 Lower Port View is a single block-built garage that needs demolishing and a rebuild. Planning permission was granted on 21st December 2018 on PA18/05725 to replace it with a double garage with offices below.



Existing garage

Layout

The proposed new garage will be detached with a pitched roof. Due to the gradient of the land, there will be an office constructed below for home working.



View from Lower Port View

PA21/00921

Design & Access

Statement 3/4

Page 56

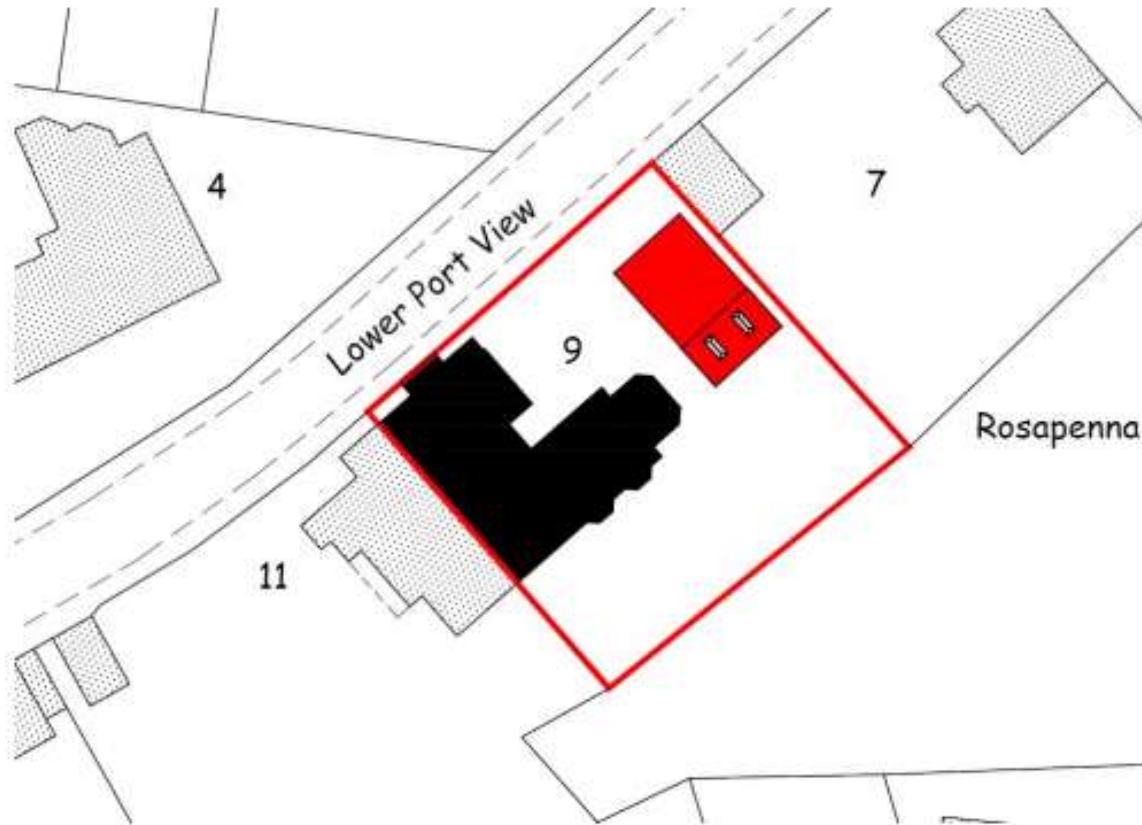
Amount

The footprint of the garage will be 7M wide by 8M in depth with a slate pitched roof over. The lower ground floor footprint will be 7M wide and 12M in depth. This will house an open office area and kitchenet, store and WC. Planning has already been granted on PA/18/05725 on 21st December 2018. This application is to move the footprint:

- 4.8M southeast to allow two off road parking spaces in front of the garage.
- 1M southwest to move away from the neighbouring boundary to no.7

Scale

The development footprint will sit comfortably within the site and will not look out of place with the neighbouring properties.



Landscaping

Landscaping will be:

- Hardstanding parking area to the front

Appearance

The appearance of the proposed buildings will fit in with the neighbouring dwellings with:

1. Slate roof
2. Block and render walls.

Access and parking

The access will be from the road at the front of the garage with parking inside the garage for a further two vehicles.

Planning Applications

gc

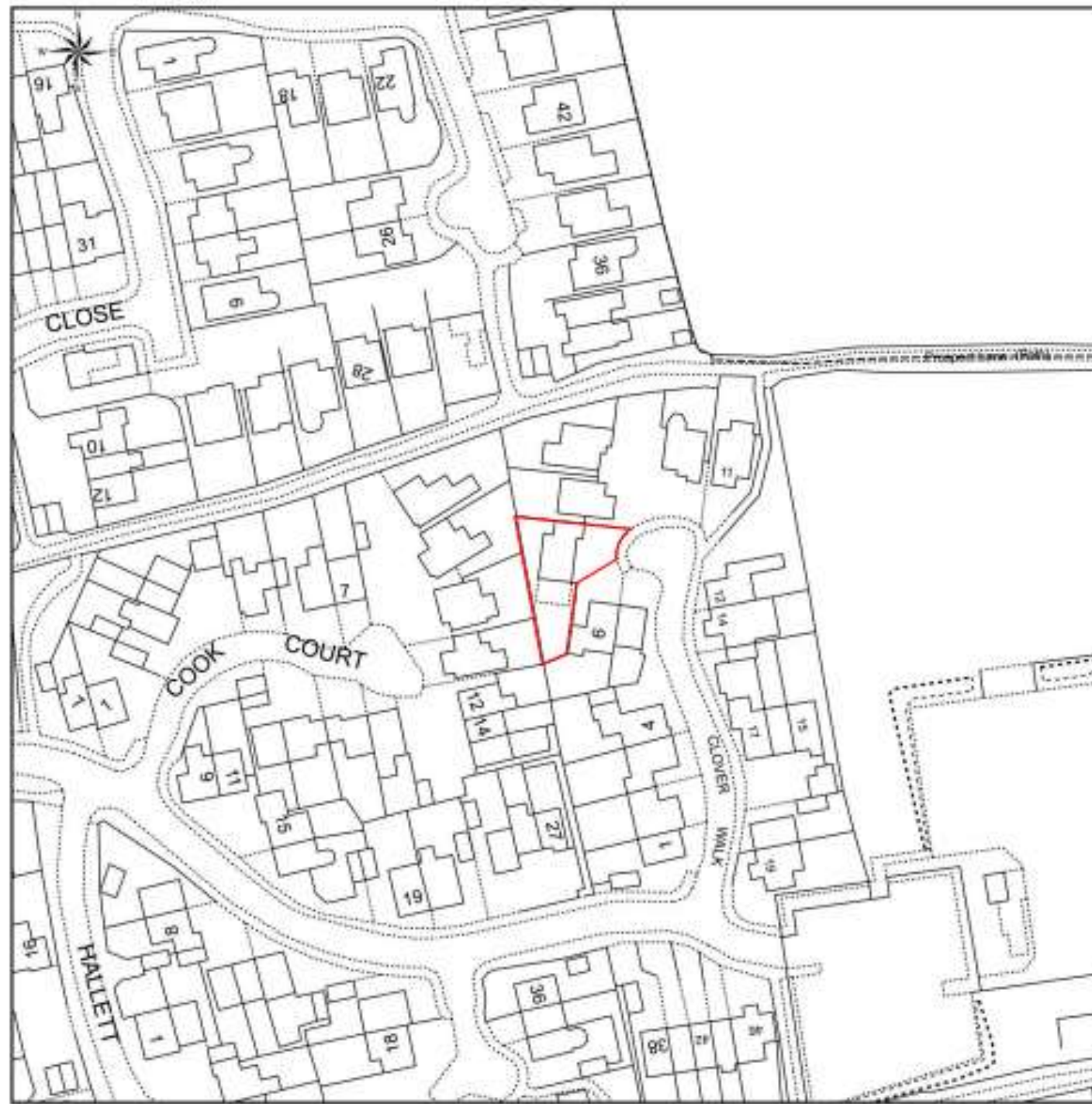
PA21/01103 – 7 Clover Walk Saltash PL12 4UU

First floor extension over existing garage. Previously approved in 2012.

Response Date: Extension to 19.03.21.

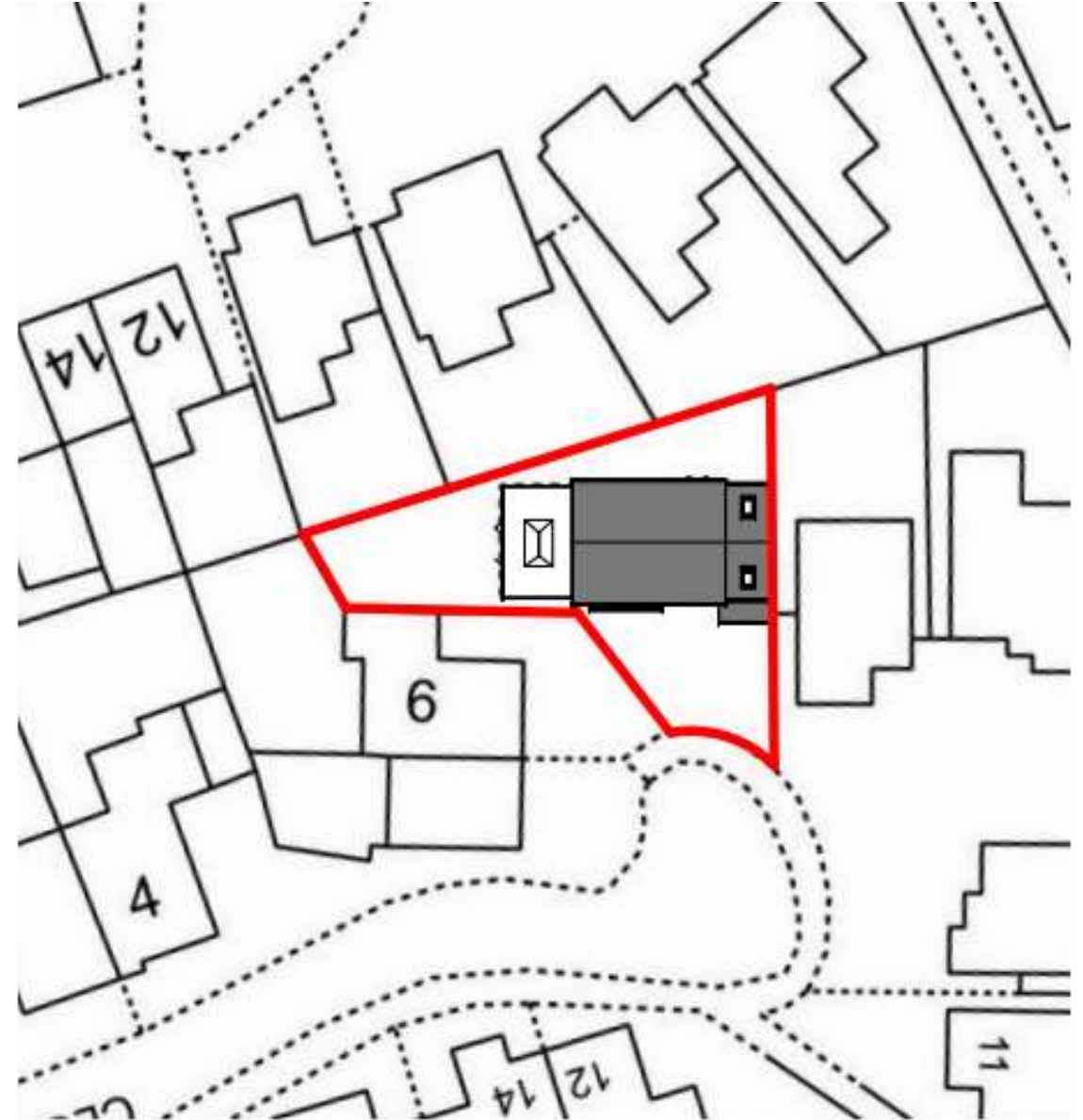
PA21/01103
Site Location
Drawing No.
01.01 REV 2

PA21/01103
01.01 REV 2





Existing Block Plan
1 : 200

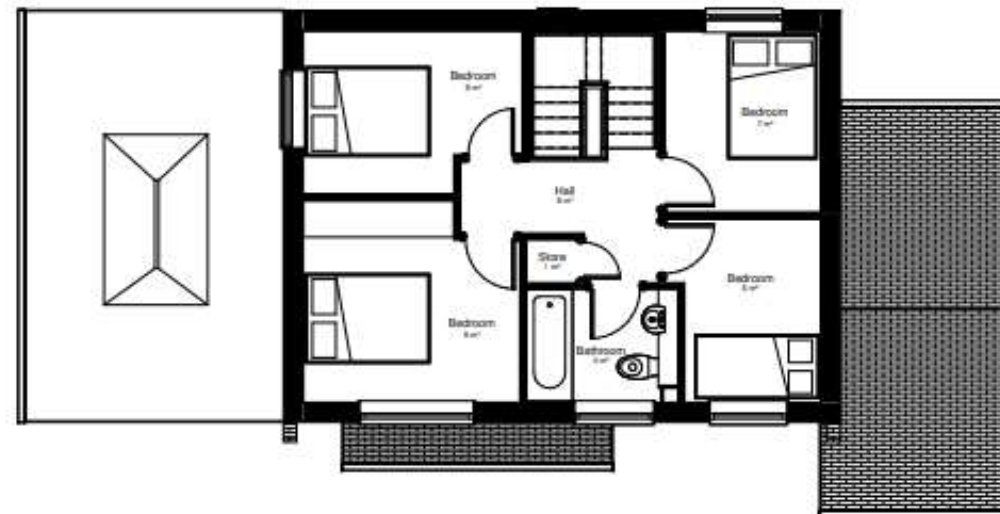


Proposed Block Plan
1 : 200

PA21/01103
Existing
Floor Plans
Drawing No.
20-01 REV 2



Ground Floor - Existing
1 : 50



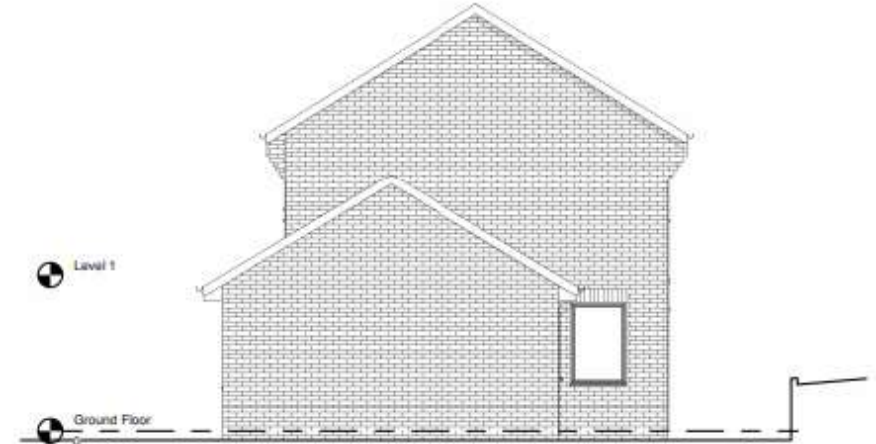
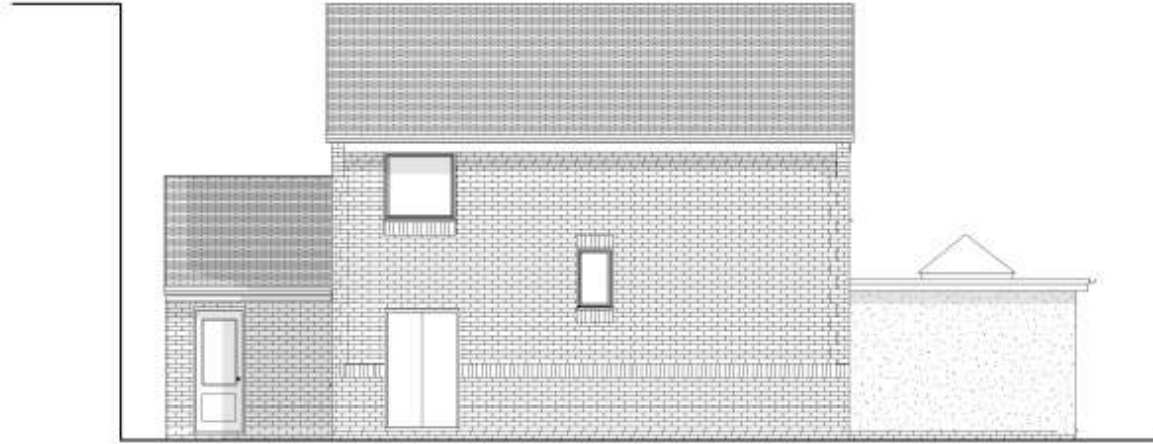
PA21/01103
Proposed
Floor Plans
Drawing No.
22/01 REV 2



Ground Floor - Proposed
1 : 50



PA21/01103
Existing
Elevations
Drawing No.
30.01 REV 2

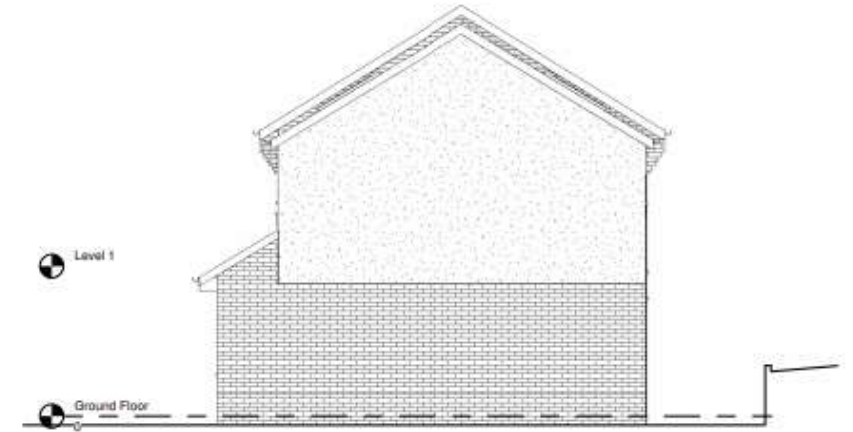
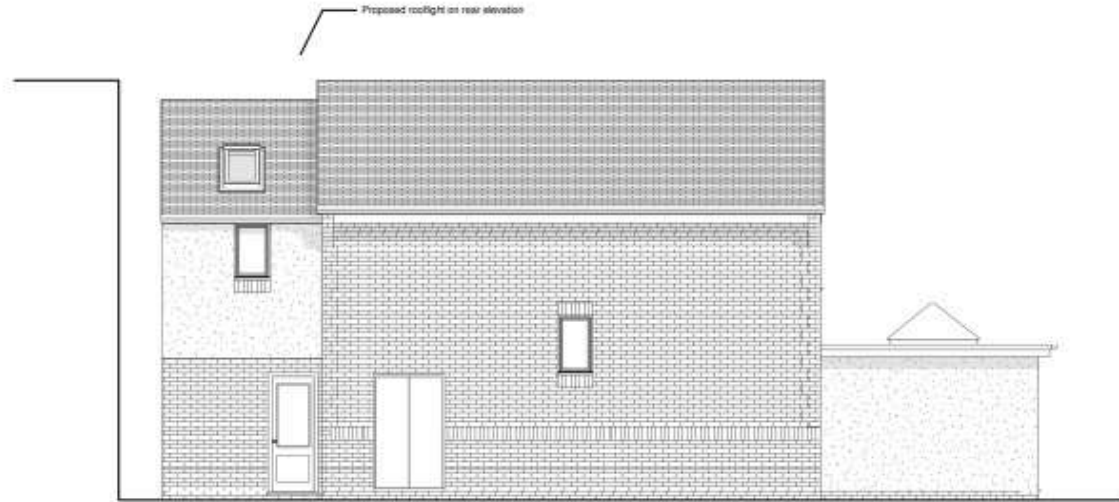


East Elevation - Existing
1 : 50



South Elevation - Existing
1 : 50

PA21/01103
Proposed
Elevations
Drawing No.
32.01 REV 2



East Elevation - Proposed
1 : 50



South Elevation - Proposed
1 : 50



3D - Existing



3D - Proposed

What surface water flood risk do the Environment Agency identify on their surface water flood maps
If a flood risk is identified what measures are proposed to mitigate this? Visit the Environment Agency online at: <http://apps.environment-agency.gov.uk/wiyby/default.aspx> for information:

FLOOD ZONE 1

Are there any other sources of flood risk that affect the site (e.g. ground water) and if so how will these be mitigated?

NO OTHER KNOWN FLOOD RISK

Page 67

How will surface water be disposed of:

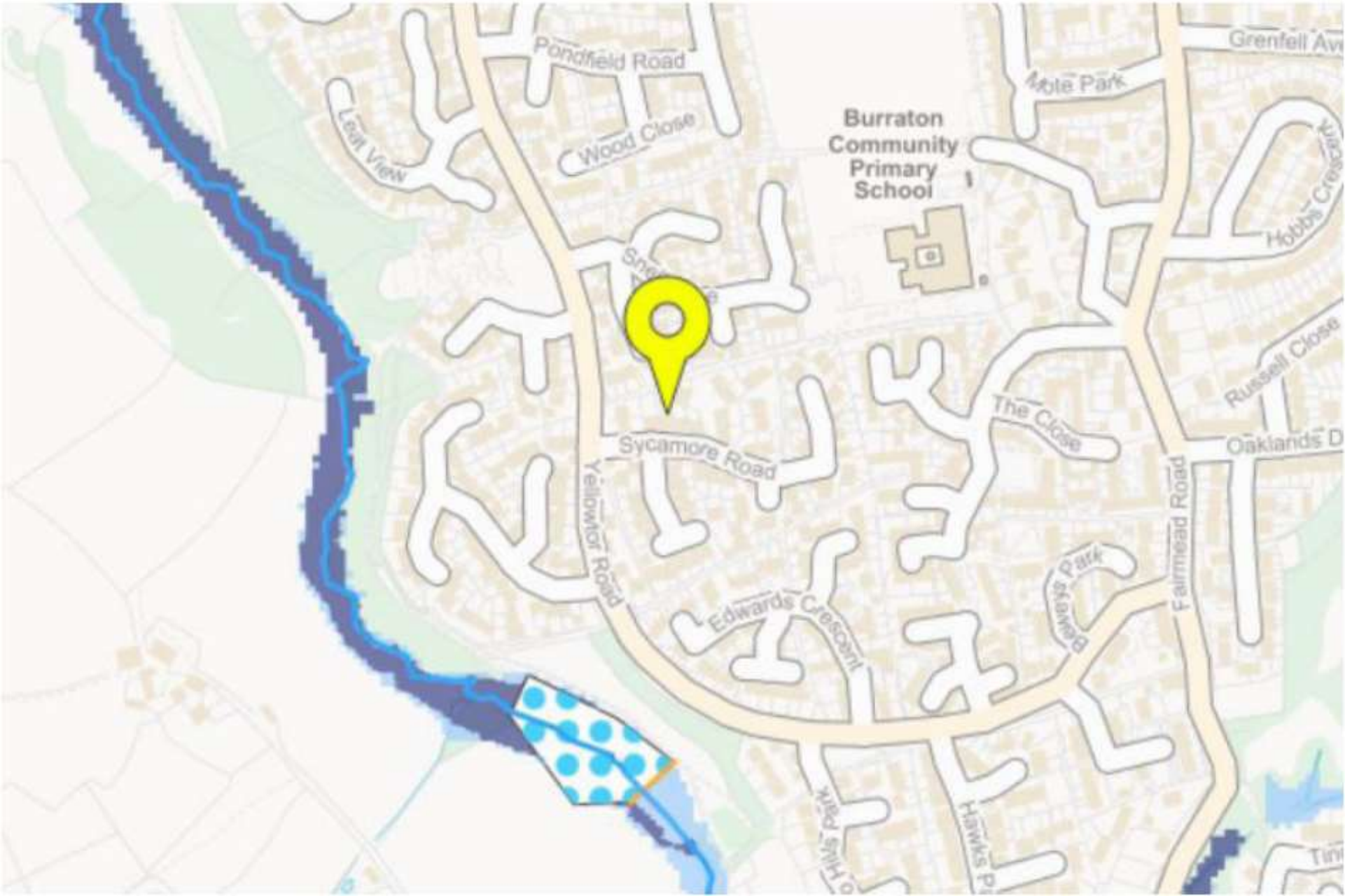
-Infiltration using a soakaway or other sustainable drainage system. This will be designed in accordance with BRE 365 for the critical 1 in 100year storm event plus 40% climate change .

(tick if appropriate) ☐

OR:

-Discharged at a controlled rate to a surface water sewer or drain. (tick if appropriate) ☒

Please explain why infiltration methods have not been chosen.....**THE EXISTING ROOF IS OF A SIMILAR SIZE TO THE EXISTING ROOF. MINIMAL INCREASE IN SURFACE WATER DRAINAGE REQUIREMENTS. NO AVAILABLE SPACE ON SITE FOR SUSTAINABLE DRAINAGE SYSTEM.**



Planning Applications

8c

PA21/01232 – 102 Grenfell Avenue Saltash PL12 4JE

Two storey rear extension.

Response Date: Extension to 19.03.21.

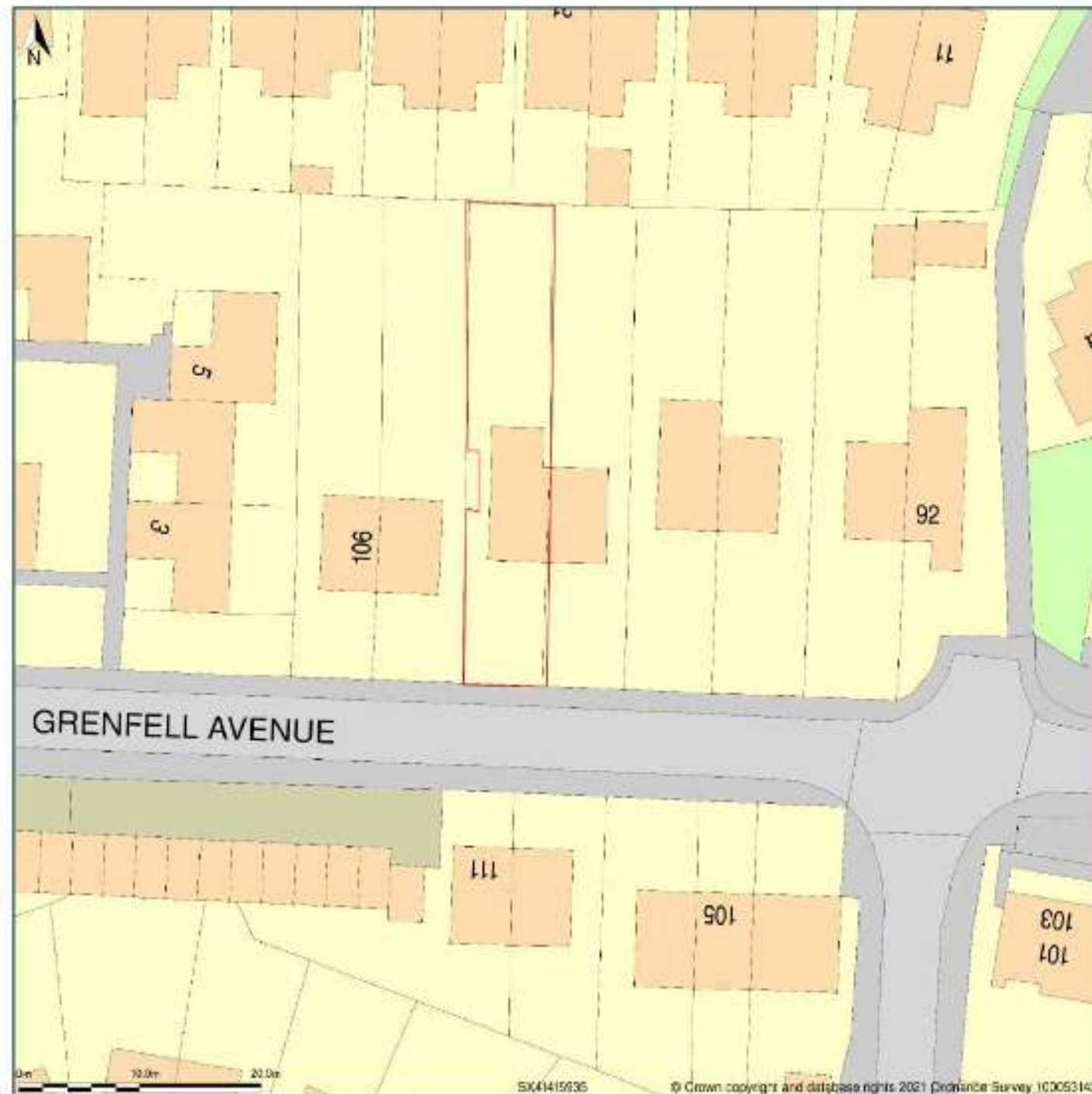
PA21/01232
Location Plan

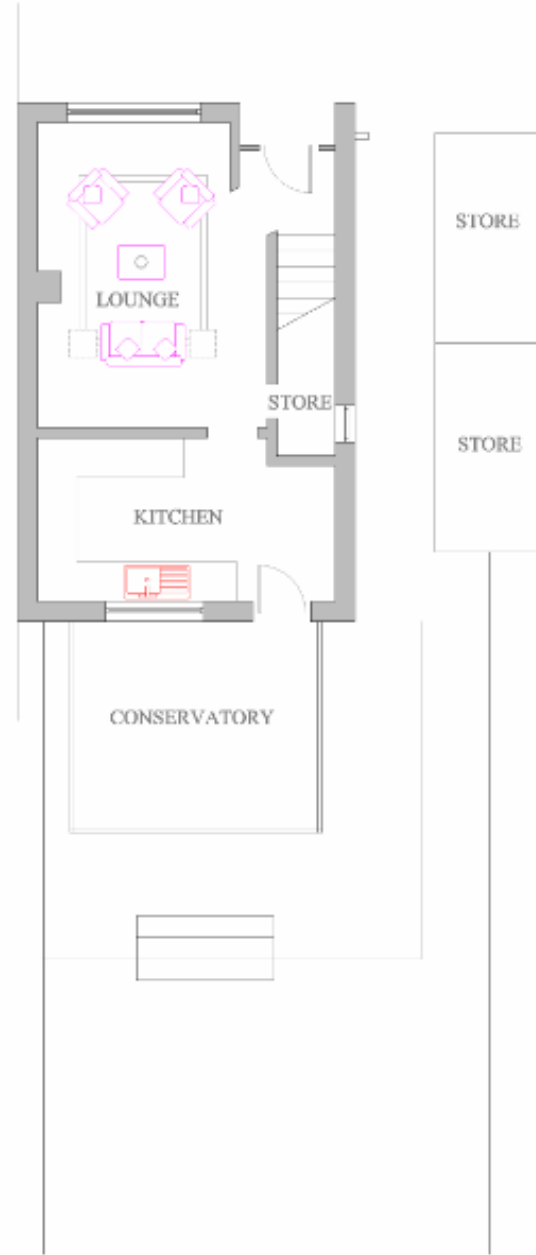
Page 70



PA21/01232
Site & Block
Plan

Page 71





GROUND FLOOR



FIRST FLOOR



GROUND FLOOR



FIRST FLOOR

NOTE: ALL DIMENSIONS TO BE
CHECKED ON SITE. DO NOT SCALE OFF
THIS DRAWING FOR CONSTRUCTION
PURPOSES

PA21/01232
Existing
Elevations

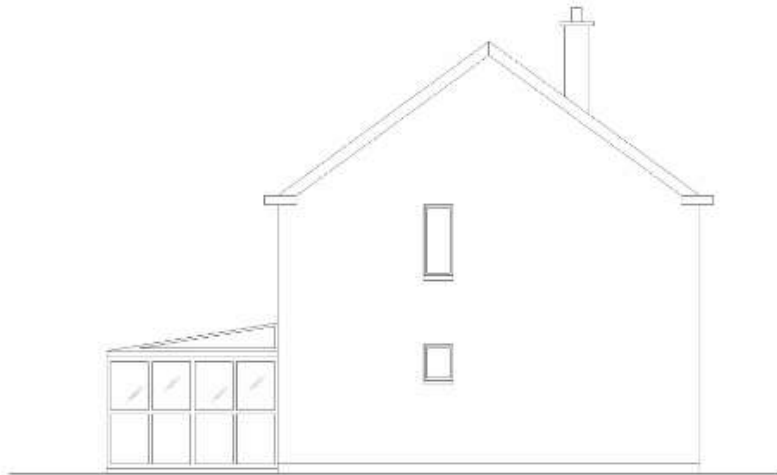
Page 74



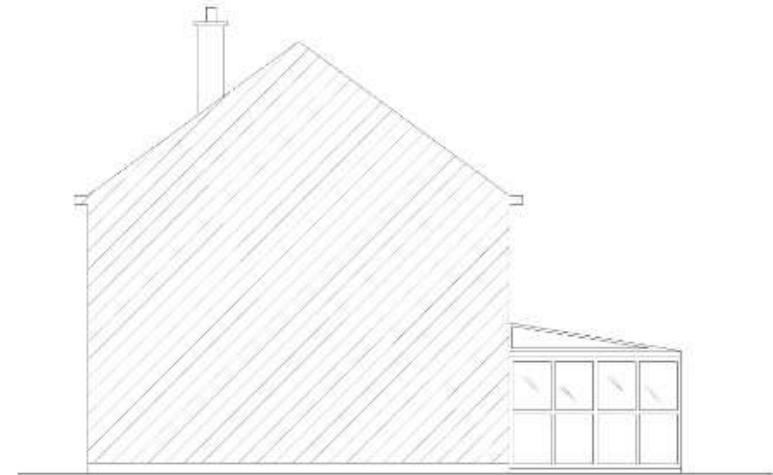
SOUTH ELEVATION



NORTH ELEVATION



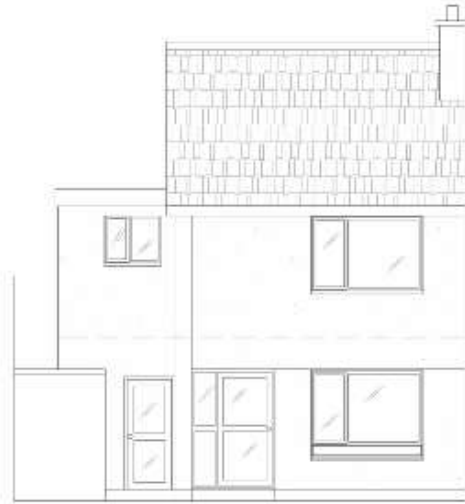
WEST ELEVATION



EAST ELEVATION

PA21/01232
Proposed
Elevations

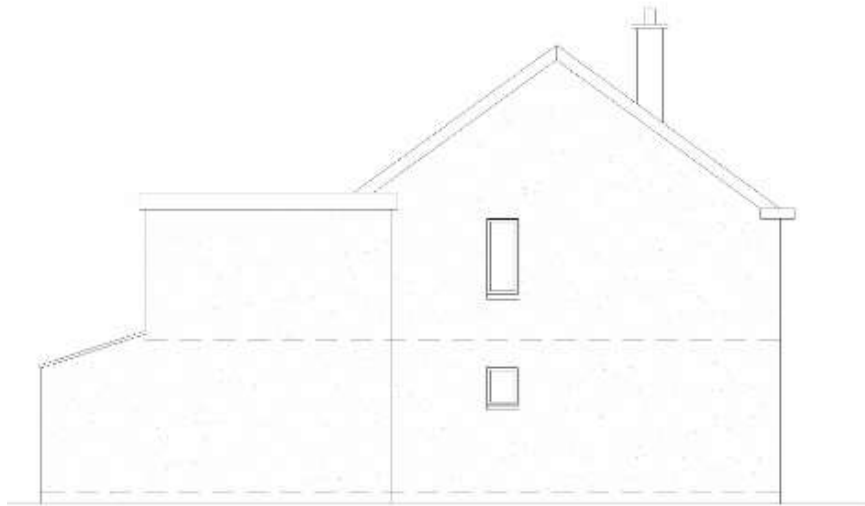
Page 75



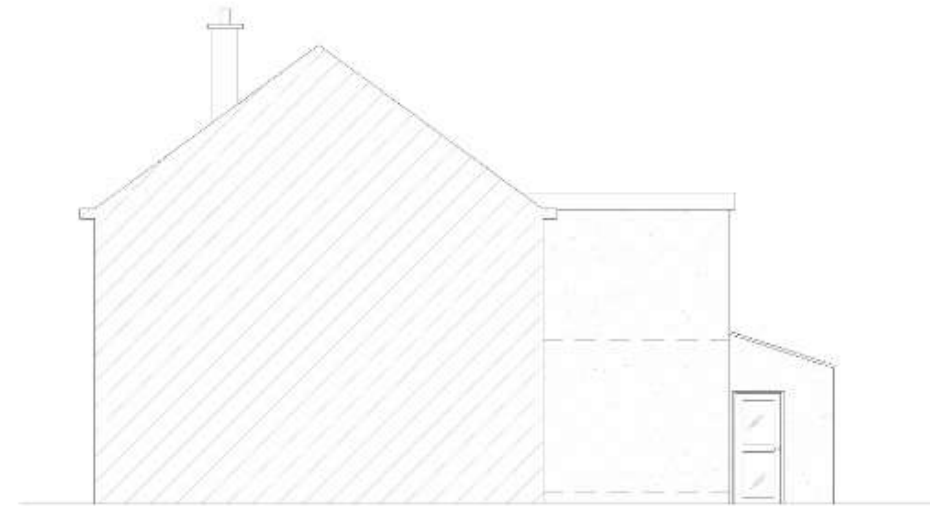
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

FLOOD RISK ASSESSMENT

102, GRENELL AVENUE, SALTASH, PL12 4JE

SURFACE WATER DRAINAGE

The surface water drainage from the existing property is connected to the mains surface water drainage system. Additional rainwater collected from the extension roof is proposed to be connected to the existing surface water drainage system.

All other rainwater falling on the sites non permeable surfaces will also drain to gullies connected to the existing surface water drainage system.

February 2021

Planning Applications

8c

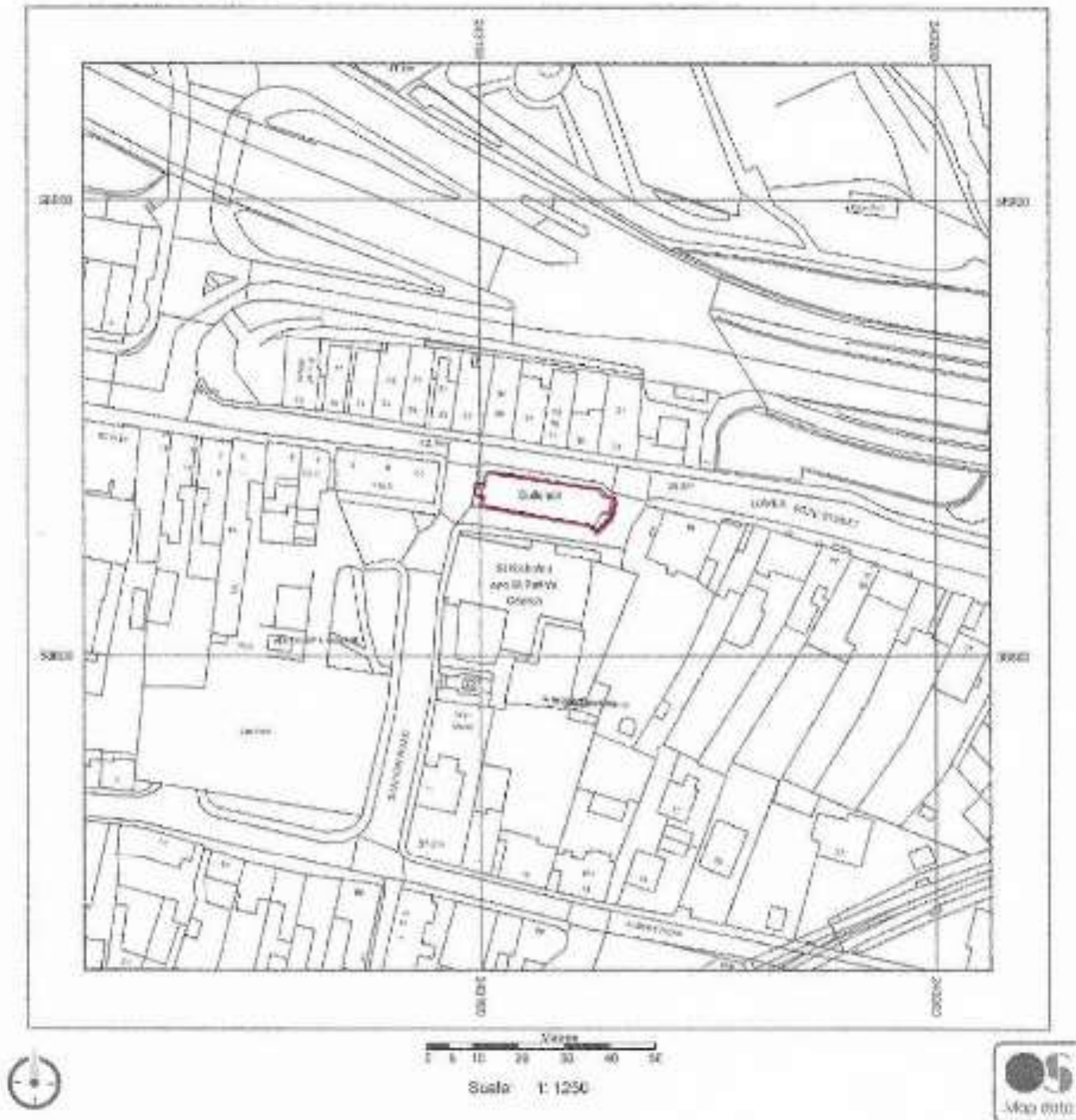
PA21/01433 – Saltash Town Council, The Guildhall.

Installation of LED lighting to north and west elevations.

Response Date: 19.03.21.

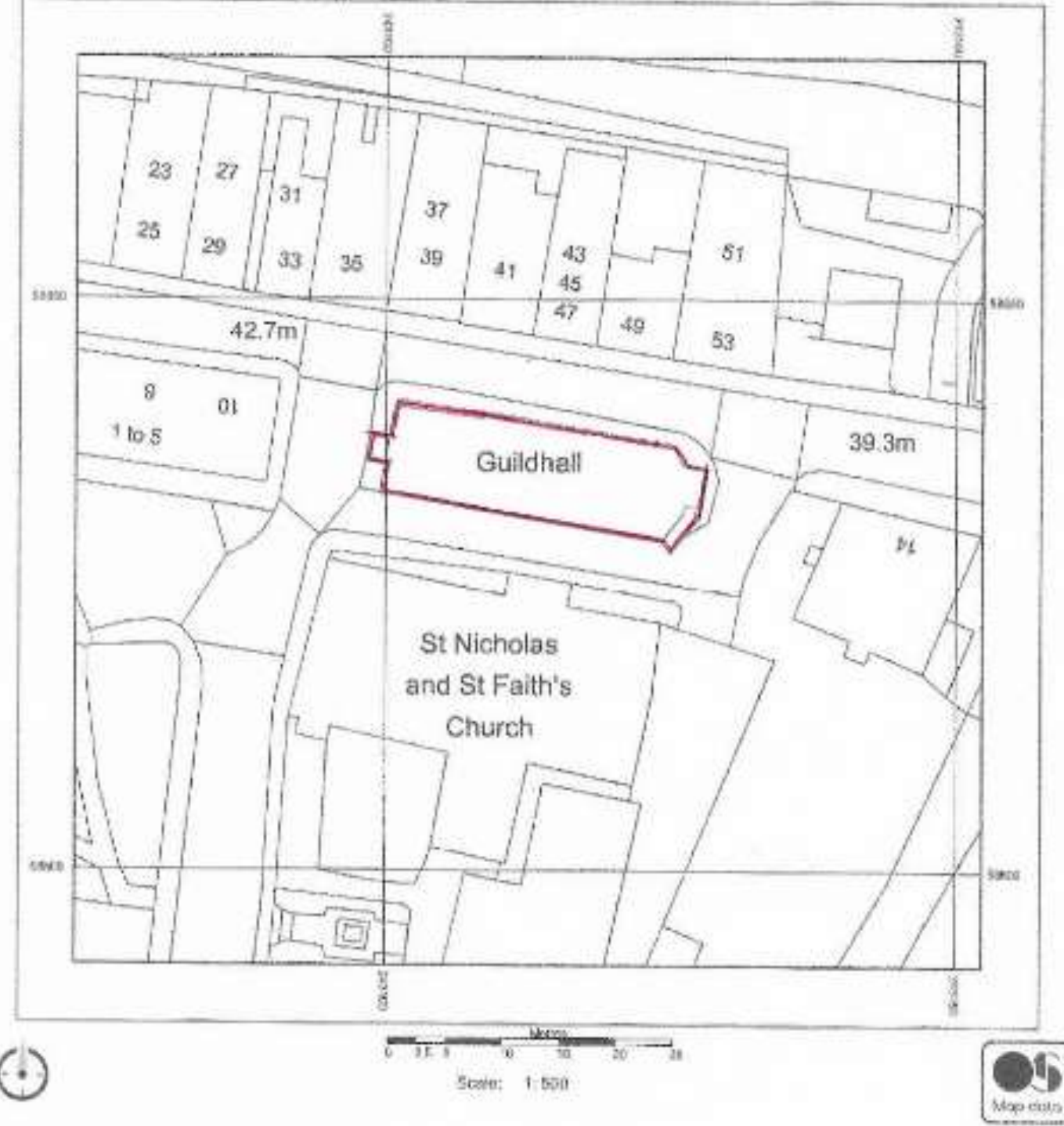
PA21/01433
Site Location
Plan

Page 78



PA21/01433
Site & Block
Plan

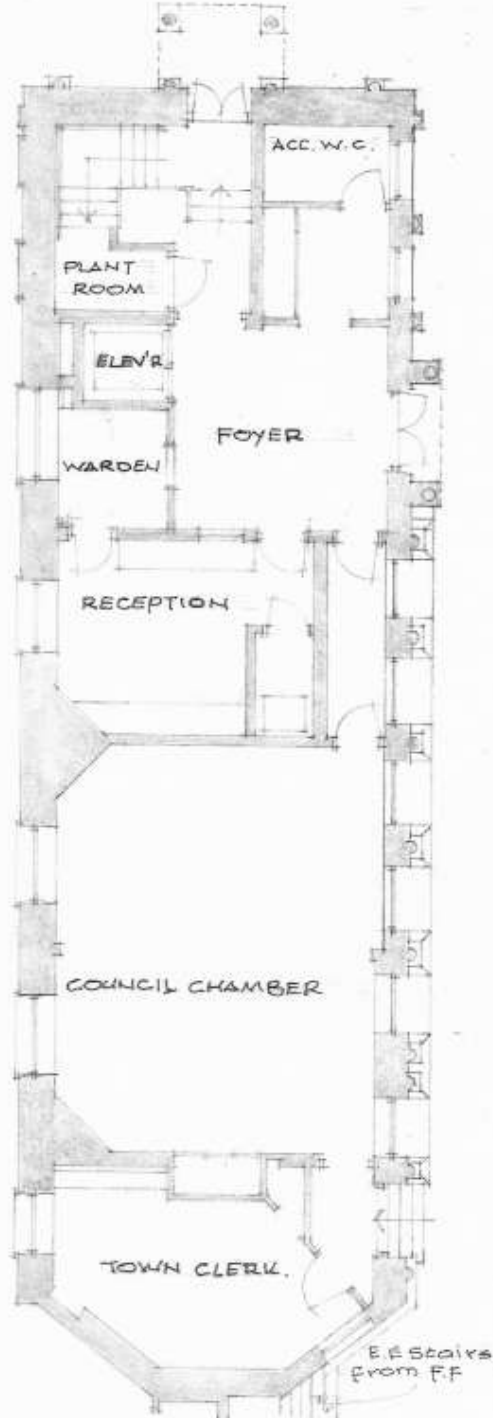
Page 79



PA21/01433

Ground Floor Plan Mixed

(unaffected by application works)



Date	Revisions
------	-----------

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the contractor is to check and verify all building and site dimensions, levels, and sewer invert levels at connection point before work starts

this drawing must be read with and checked against any structural or specialist drawings provided

GEORGE MEDGGS AssocRICS Building Surveyor
38 Callington Road Saltash Cornwall PL12 6DY
Tel 01752 847706

Client
Saltash Town Council

Job Title
The Guildhall Lower Fore Street Saltash

Drawing Title
Ground Floor Plan (Unaffected by application works)

Scale
1:100 @ A4

Date	January 2021	Drawn by
		GP

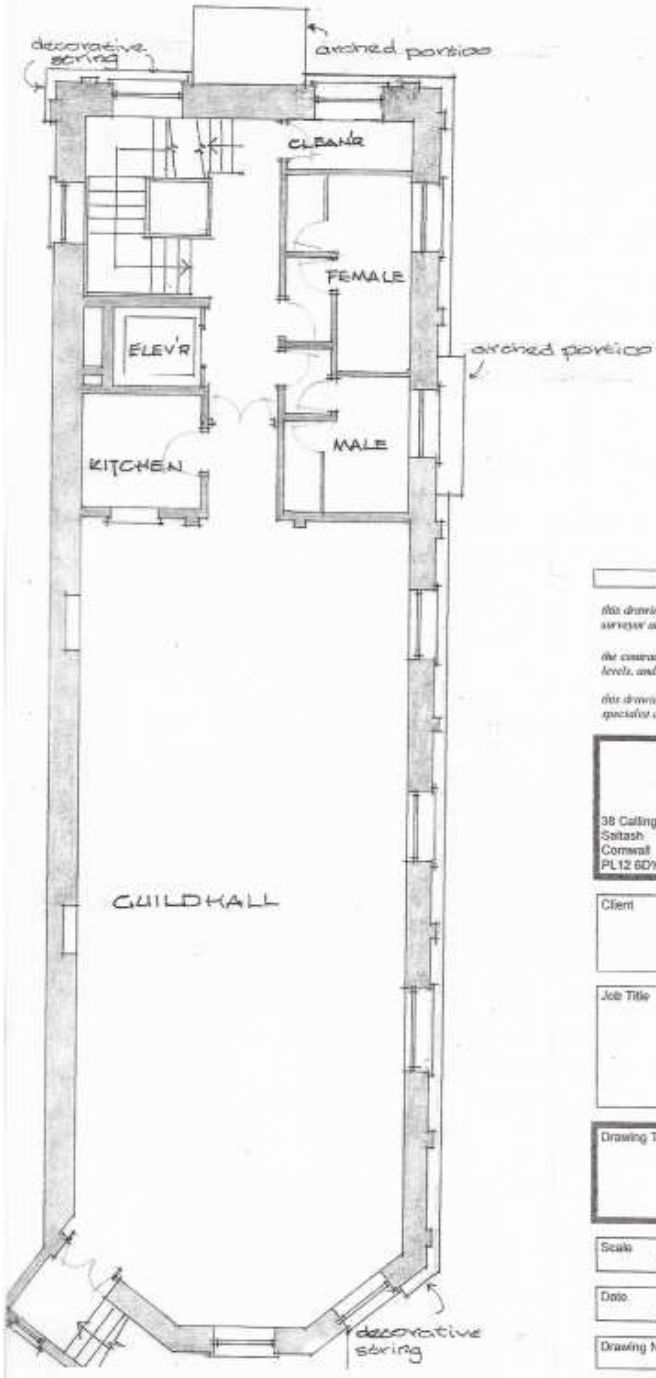
Drawing No	21/01/1	Rev

PA21/01433

First Floor

Plan Existing

Page 81



Date	Revisions
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GEOFF PEGGS AssocRICS Building Surveyor
38 Collington Road Saltash Cornwall PL12 6DY
Tel 01752 847706

Client
Saltash Town Council

Job Title
The Guildhall Lower Fore Street Saltash

Drawing Title
First Floor Plan existing

Scale
1:100 @ A4

Date	January 2021	Drawn by	GP
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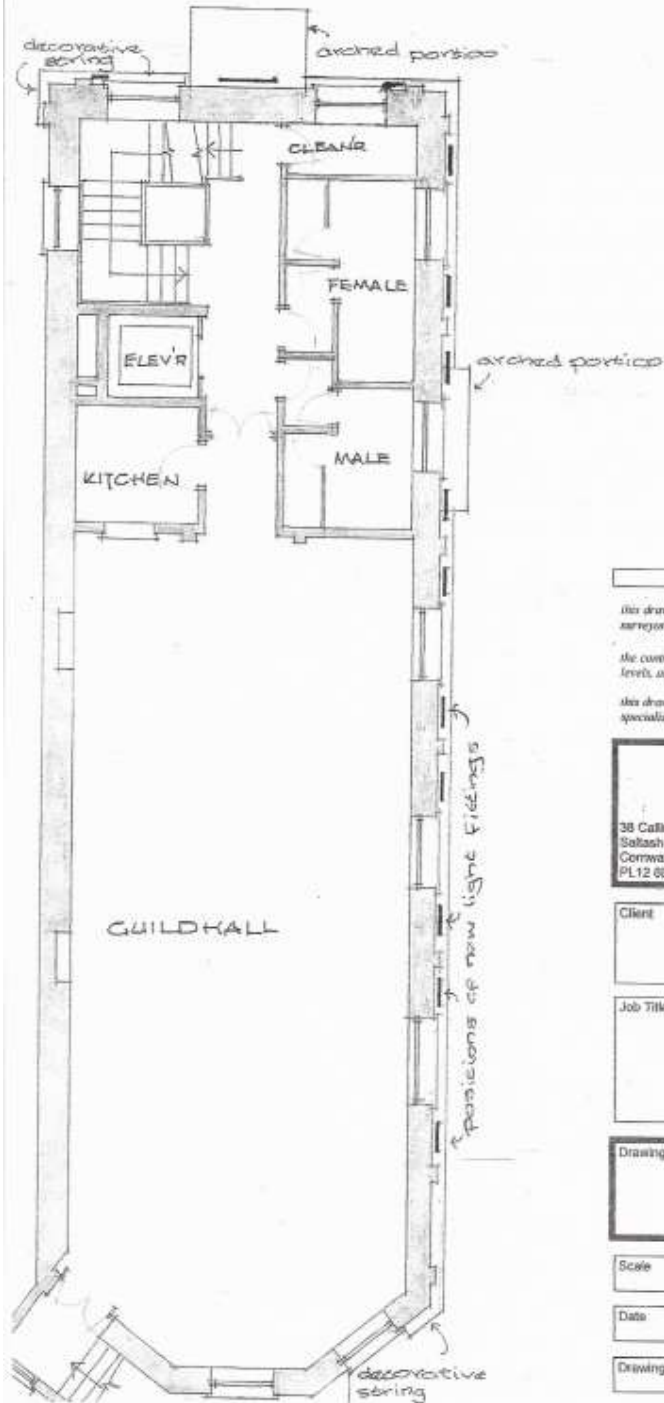
Drawing No	21/01/2	Rev	
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PA21/01433

First Floor

Plan Proposed

Page 82



Date	Revision
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GEOFF PEGGS AssocRICS Building Surveyor
38 Callington Road Saltash Cornwall PL12 8DY
Tel 01752 847706

Client
Saltash Town Council

Job Title
The Guildhall Lower Fore Street Saltash

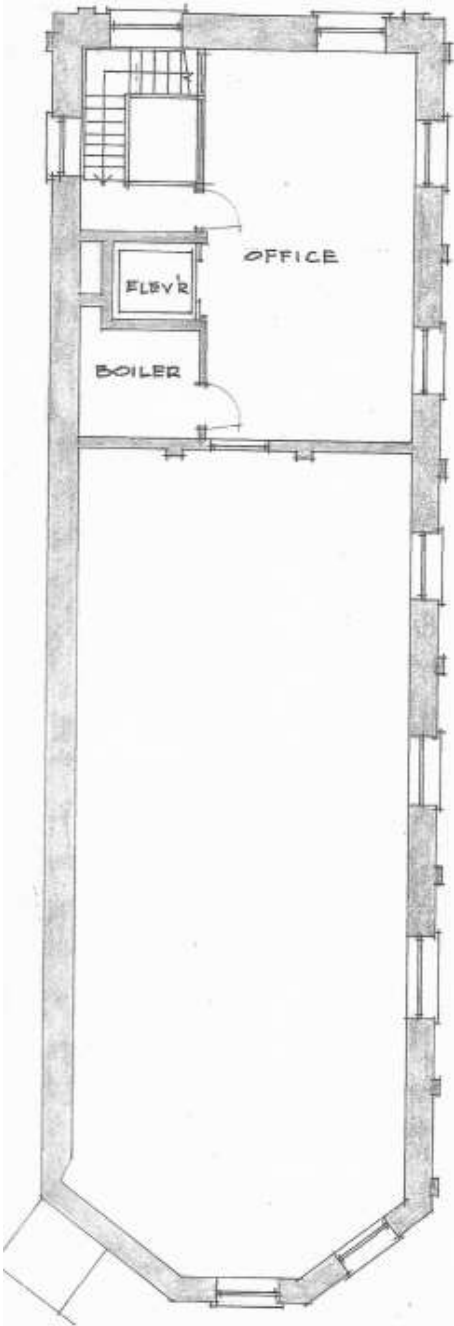
Drawing Title
First Floor Plan proposed

Scale
1:100 @ A4

Date	Drawn by
January 2021	GP

Drawing No	Rev
21/01/3	

PA21/01433
Second/Mezzanine
Floor Plan
(Unaffected by
Application Works)



Date	Revisions
------	-----------

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the contractor is to check and verify all building and site dimensions, levels, and sewer invert levels at connection point before work starts

this drawing must be read with and checked against any structural or specialist drawings provided

GEOFF PEGGS
AssocRICS
Building Surveyor
35 Collington Road
Saltash
Cornwall
PL12 6DY
Tel 01752 847706

Client
Saltash Town Council

Job Title
The Guildhall
Lower Fore Street
Saltash

Drawing Title
Second / Mezzanine Floor Plan
(unaffected by application works)

Scale
1:100 @ A4

Date
January 2021
Drawn by
GP

Drawing No
21/01/4
Rev

PA21/01433

North (Lower Fore
Street) Elevation
Existing

1998
4

Scale	1:100 @ A4		
Date	January 2021	Drawn by	GP
Drawing No	21/01/5	Rev	

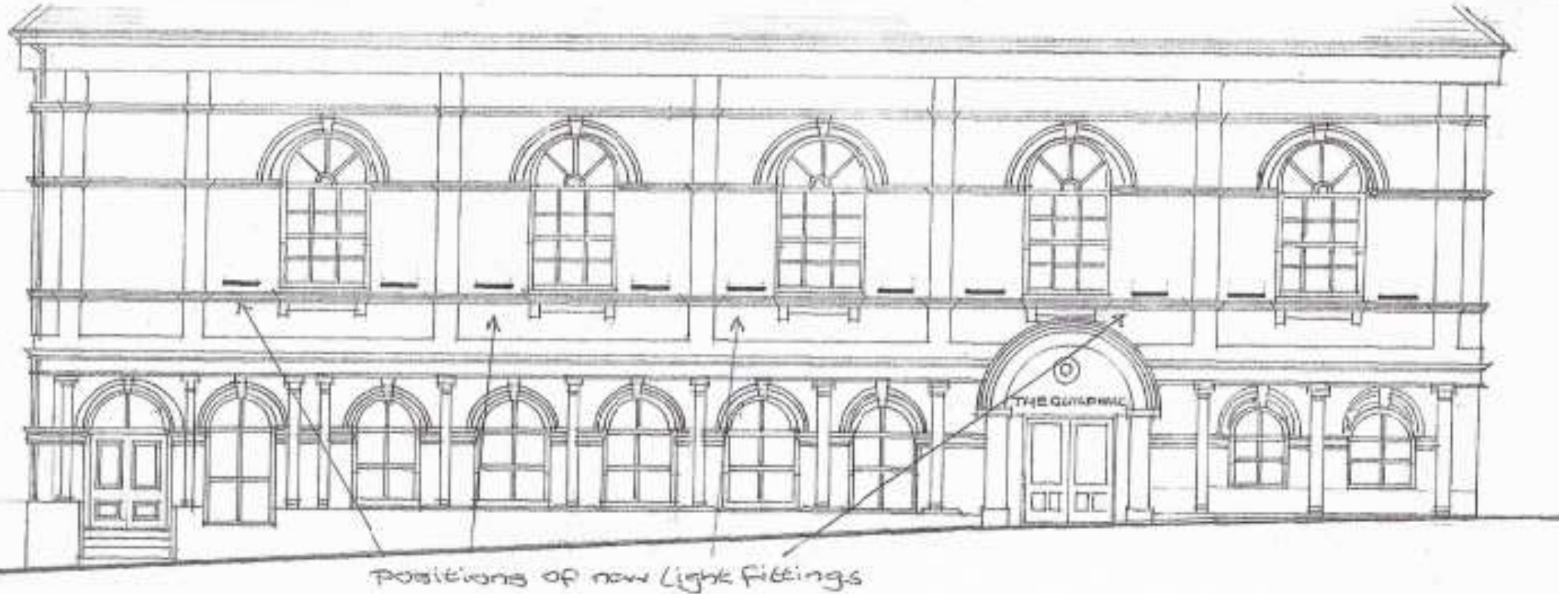


PA21/01433

North (Lower Fore
Street) Elevation
Proposed

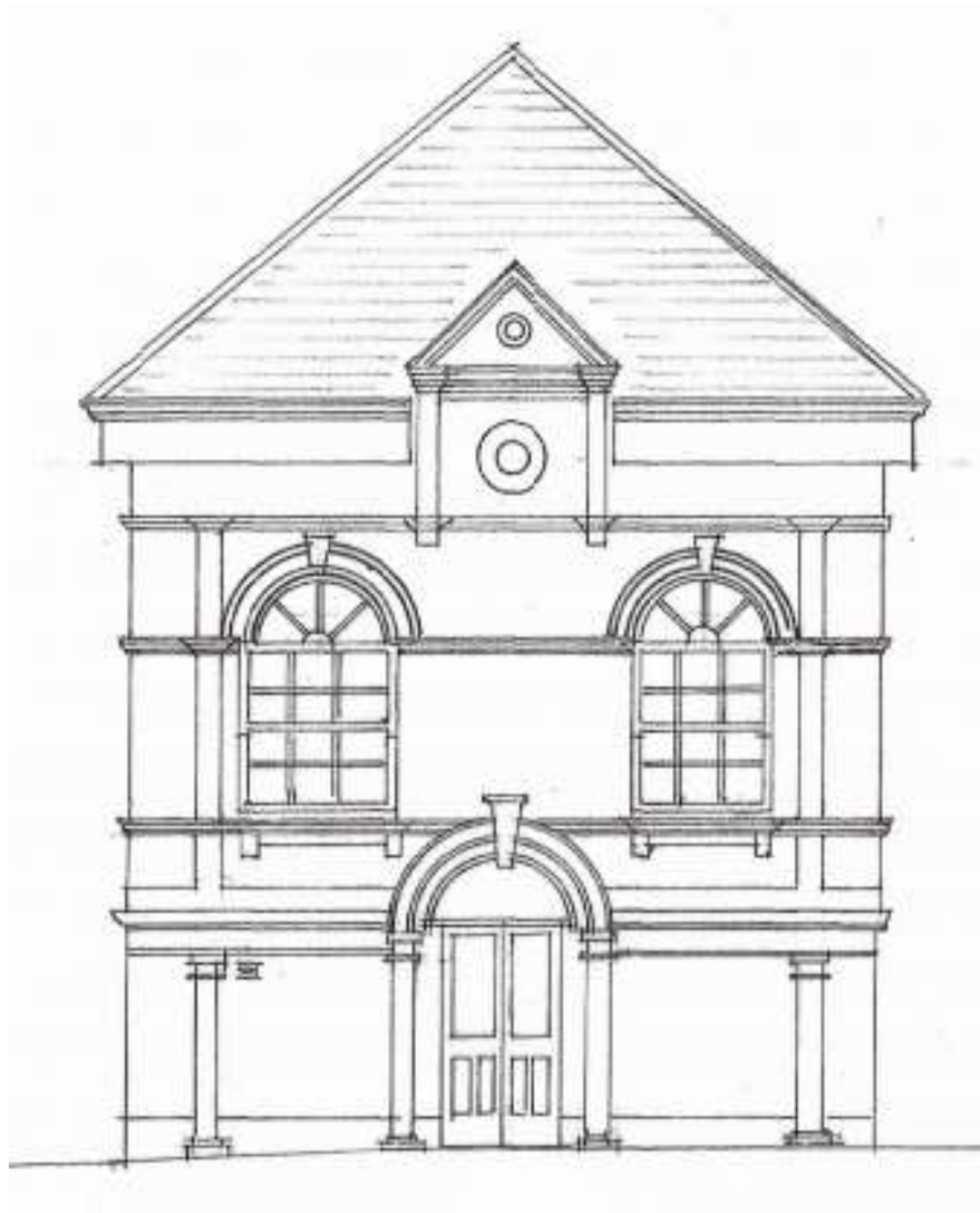
199685

Scale	1:100 @ A4	
Date	January 2021	Drawn by GP
Drawing No	21/01/6	Rev



PA21/01433
West (Station Road)
Elevation Existing

Page 86



Scale	1:100 @ A4
Date	January 2021
Drawing No	21/01/7
Drawn by	GP
Rev	

PA21/01433
West (Station Road)
Elevation Proposed

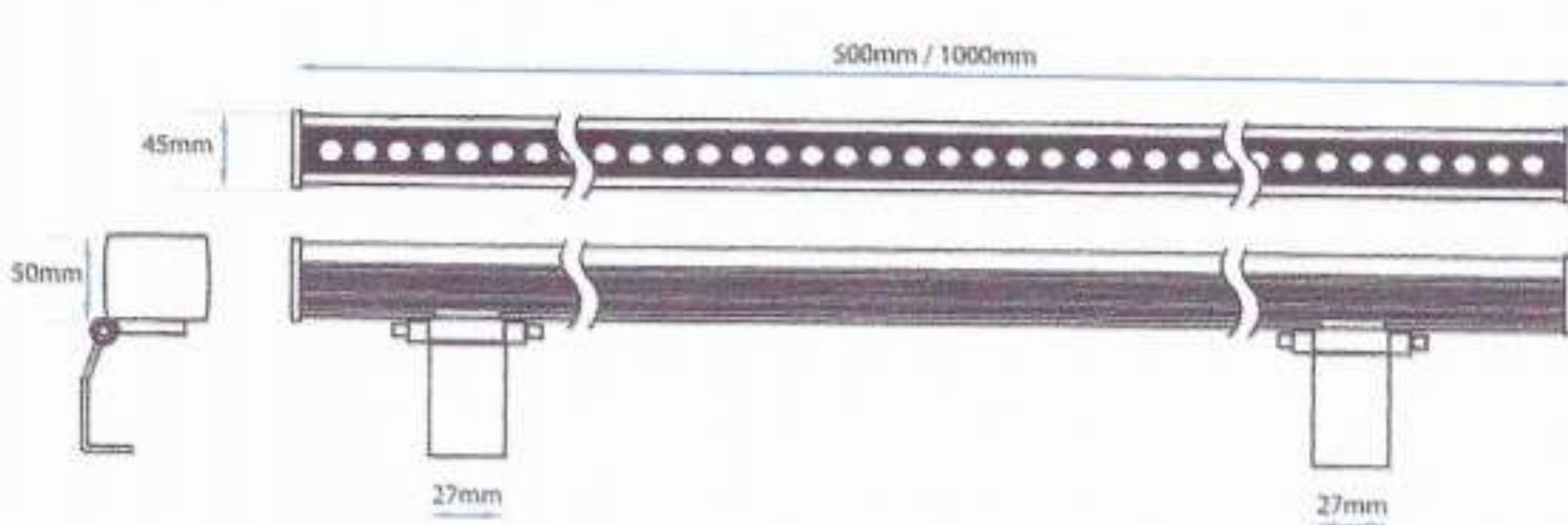
Page 87



positions of new light fittings

Scale	1:100 @ A4		
Date	January 2021	Drawn by	GP
Drawing No	21/01/8	Rev	

Mechanical Dimensions (Unit mm)





Arcus II LED Wall Washers

Product categories

[LED Wall Washers](#)

<https://www.surelight.com/product-category/led-wall-washers>

Product Code

ARC2

Solutions

Art & Culture External Lighting

Cookies & Privacy

This website uses cookies to ensure you get the best experience on our website.

Description

Additional information

[More information \(/privacy/\)](#) [Accept](#)

Use of building –

The building is currently in use as the base offices for Saltash Town Council although the upper floor (the Guildhall) is let on a casual basis to organisations and the general public for private parties, and other social occasions.

Amount of building to be used

The use of the existing building is to be retained and the proposals are restricted to the illumination of the north and west elevations so as to display the building and its architectural features after dusk on the two main elevations visible to the public.

Page 91

Layout of building

The existing layout of the building will remain, including the use of the ground floor accessible toilet area.

Scale of proposed additional areas for customer use

No additional space will be provided and the proposed lighting units will be at a height to remove the possibility of vandalism

Landscaping

The building occupies the full site and there are no landscaping or garden areas.

Appearance

Very little of the proposed light units will be seen. They are approximately 45mm x 50mm in section and are secured by a small metal bracket to the face of the building. The length of the units is between 300mm and 600mm (linked together with discreet electrical cables) – the only impact will be to illuminate the architectural feature of the building.

Access

Vehicular and transport links and access to the site are unaffected by the proposals.

THE GUILDHALL LOWER FORE STREET SALTASH

Note : descriptions of the use of the Guildhall are based on pre-pandemic use as the building is not, in order to comply with Government guide lines, currently in use on a regular basis. It is intended that, when the pandemic is over, uses of the building will return to those as described.

The existing premises are in use both as the base for Saltash Town Council and for hire by the public. The building is described by *'British Listed Buildings'* and refers to general construction *'brick, timber framed and plastered under a slate roof'* It goes on to note the *'sliding sash windows with round heads and projecting keystones'*. The ground floor was originally open, with the first floor supported on by granite Doric columns. A portico porch to the west elevation has granite columns and there are plain pilasters to sides. There are a number of other architectural features including the horizontal friezes and architraves. It is thought that the original parts of the building date back to the late 18thC.

Lower Fore Street – re-named from ‘Fore Street’ following development of the shopping areas post war – leads from the town centre down to the River Tamar. It has a large number of historic buildings of varying ages although a number were demolished to facilitate the building of the Tamar Bridge, opened in 1962. The proposals will not impact on the street scene as the proposed light fittings are only 45mm x 50mm in section and will be secured by small metal brackets sat on one of the architectural horizontal architraves approximately 3.5m-4.5m above local ground levels. Details of the lighting units are enclosed with the planning application.

The two elevations concerned with the proposed new lighting – north and west – are those that are primarily seen by passers-by. The east and south elevations have little architectural merit and are hidden on elevations with walls and buildings close by.

The light fittings will be sited so as to ‘wash’ upwards on the north and west elevations. They have LED lamps within the units and have a matt black case. Electrical wiring will be hidden either by the fittings themselves or, in the areas between fittings, by discreet black cabling.

Planning Applications

8c

PA21/01434 – Saltash Town Council, The Guildhall.

Listed Building Consent for the installation of LED lighting to north and west elevations.

Response Date: 19.03.21.

Plans as for PA21/01433 above.

Planning Applications

8c

PA21/02182 – Land at Broadmoor Farm Stoketon

Application for non material amendment following grant of planning permission PA19/08250 namely various minor amendments

Response date: 18/03/21

Page 9 of 9

5. Description of Your Proposal

Please provide the description of the approved development as shown on the decision letter

Approval of Reserved Matters for layout, means of internal access, appearance and landscaping pursuant to Phase 0A works only. Details following outline application PA14/02447 dated 13/10/17

Reference number: PA19/08250

Date of decision 31/07/2020

Planning Portal Reference: PP-09474701

5. Description of Your Proposal

What was the original application type? Outline planning permission: All matters reserved

For the purpose of calculating fees, which of the following best describes the original application type?

- ☐ Householder development: Development to an existing dwelling-house or development within its curtilage
- ☒ Other: anything not covered by the above category

$$\frac{69}{8}$$
$$\frac{69}{8}$$

- $$\frac{69}{8}$$

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Assessment

These amendments have been reviewed by Lichfields in the context of the National Planning Practice Guidance (NPPG) and are considered non-material to the approved development.

They have also been reviewed in the context of Cornwall Council's guidance (<https://www.cornwall.gov.uk/environment-and-planning/planning/planning-advice-and-guidance/revisions-and-amendments-to-planning-applications/>) set out in italics below, with a brief assessment by Lichfields noted alongside each:

“Each non-material amendment application will be considered on its merits. If it meets the following criteria, it is likely that the proposed change can be dealt with by this procedure:

- 1 There would be no change to the application site boundary and the proposal would be located within it (red line boundary)*

Confirmed. This is an amendment to approved Reserved Matters, which sit within the approved site/red line boundary under permission ref. PA14/02447. There is no change to this boundary. There is a minor adjustment sought to the Phase 0A flexible 50m servicing zone, but this sits within the wider site boundary and was always an indicative alignment in any case under Phase 0A.

- 2 The amendment would not conflict with development plan policies or other Government guidance*

Confirmed. The NMAs do not generate any material changes which would conflict with policy.

- 3 *There would be no conflict with any conditions on the planning permission*
Confirmed. The amended Reserved Matters accord with the conditions of the outline permission.
- 4 *The proposal would not make worse any concerns raised by third parties when the original planning permission was considered*
Confirmed. There would be no impact on any concerns raised during the determination of the original planning permission.
- 5 *The approved footprint/siting of the building will not be moved in any direction by more than 1 metre*
Confirmed. The development will continue to accord with the approved parameters. No buildings are proposed.
- 6 *The proposal would not result in an extension to development already approved*
Confirmed. There is no extension to development.
- 7 *The height/volume of the building or extension would not be increased or significantly reduced*
Confirmed. No buildings/extensions are proposed.
- 8 *The amendments must not result in a fundamental change in the design of the building*
Confirmed. No buildings are proposed. The design approach to the infrastructure, as set out in the Mini Design Code, is as approved.
- 9 *The change does not amount to new works or elements which have not been considered by any environmental statement submitted with the original application*
Confirmed.
- 10 *Amendments to windows/doors/openings must not have any overlooking impact on neighbouring properties".*
Confirmed – not applicable.

The above assessment against Cornwall Council's guidance clearly demonstrates that the amendments sought are non-material to the approved Phase oA Reserved Matters and can therefore be appropriately processed under Section 96a of the Town and Country Planning Act 1990 without delay.

Re-Discharge of Conditions

The above NMAs to Phase 0A require minor adjustments to be made to the hard and soft landscaping details approved by Cornwall Council under condition 24. The principles and approach have not changed, but minor drawing updates are required to ensure these fully align with the details submitted under the Phase 0A Reserved Matters. These adjustments are non-material to the scope of the information already approved; they are therefore being provided as a regularisation process only. We trust they will be reviewed alongside the s96a NMA and extant approved details and expediently processed on this basis.

No amendments are required to details already approved under the other Phase 0A conditions.

Summary

As set out above, minor adjustments are required to the infrastructure approved under the Phase 0A Reserved Matters, along with the associated landscaping details, to align these with the amended Phase 1 layouts. These have been discussed in detail with Cornwall Council via the pre-application advice process. None of the proposed amendments have a material effect on the development as approved by Cornwall Council under PA19/08250 and they are therefore non-material in nature. They also fall within the approved outline parameters of permission ref. PA14/02447. The approval of this s96a application would have no effect on the conclusions reached by the Council in granting the Phase 0A Reserved Matters in July 2020. Further, the re-discharge of the landscaping details under condition 24 would have no effect on the conclusions reached when approving these details under ref. PA19/08251; this is a regularisation process only to align with the amended Reserved Matters. The proposals continue to maintain the highest quality of design and CEG is keen to proceed with construction of this critical initial site infrastructure at the earliest opportunity.

We look forward to receiving confirmation that the enclosed applications have been validated and we trust they can be processed concurrently within the 28-day determination period for a s96a NMA application.

PA21/02182
Phase OA
Sheet Layout
Location Plan

PA21/02182



103



Planning Applications

8c

PA21/01757 – Land at Broadmoor Farm Stoketon

Reserved matters application for Phase 1, which comprises: the construction of 387 dwellings, public open space, landscape planting, pedestrian, cycle and vehicular links, 1 substation and one governor and associated infrastructure. (Details following outline application PA14/02447 dated 13.10.2017) Resubmission of application no. PA19/08297 dated 09/04/20.

Response Date: 19.03.21.

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Date	Dr	Cr
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The Boundary



PA21/01757

Planning

Layout

Sheet

Phase 1

1/3



For scale from this plan for construction purposes

Revision	Date	By	Check
A	28.08.20	JW	CB
B	28.08.20	JW	CB
C	28.08.20	JW	CB
D	28.08.20	JW	CB
E	28.08.20	JW	CB
F	28.08.20	JW	CB
G	28.08.20	JW	CB

KEY

- Red line: Main development boundary
- Green line: Landscaping boundary
- Blue line: Water feature boundary
- Yellow line: Access road boundary
- Black line: Footpath boundary
- Grey line: Existing building footprint
- White line: Proposed building footprint
- Blue dot: Proposed water feature
- Yellow dot: Proposed access point
- Black dot: Proposed footpath



Project:
Tredan, Phase 1
Saltash, Cornwall

Drawing Title:
Planning Layout
Sheet 1 of 3

Date:
28.08.20

Drawn by:
JW

Checked by:
CB

Project No:
3885

Drawing No:
TRE-R-011

Revision:
G



Lay She Pha

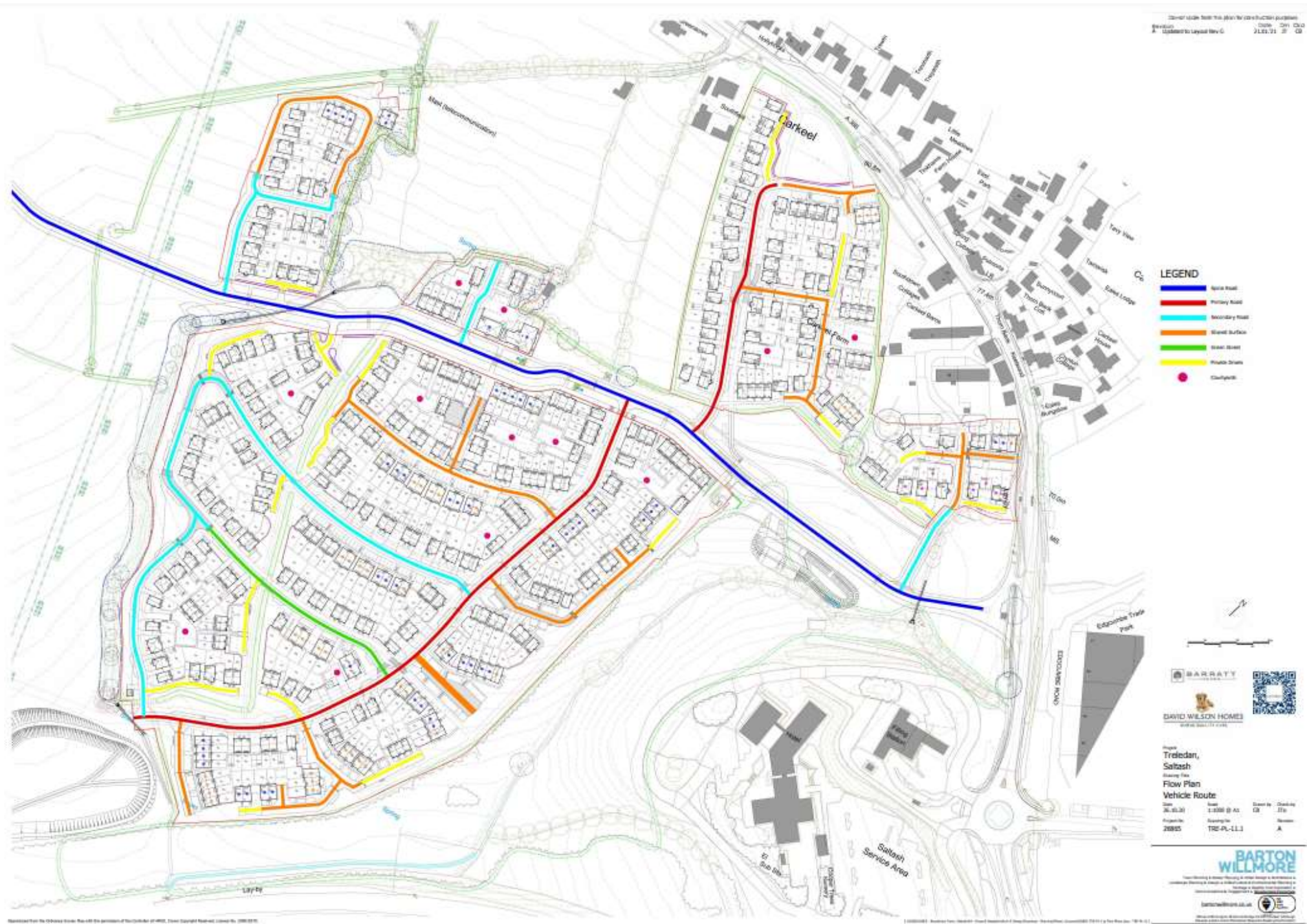


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PA21/01757 Flow Plan Vehicles

Page 110



Page 111



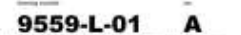
PA21/01757 Flow Plan Pedestrians

Page 112



13

	Proposed Gender	
8	2000001	Gender response item summary
	11/1/20	Final Report



9559-L-01 A

PA21/01757 Barratt Street Scene

Page 114



STREET ELEVATION AA



STREET ELEVATION BB



STREET ELEVATION CC



STREET ELEVATION DD



KEY PLAN



Project:
Trelidan
Saltash
Drawing Title:
Street Scene Elevations

Date: 02.10.23	Scale: 1:500 (Site)	Drawn by: CB	Check by: JT
Project No: 28803	Drawing No: TRE-SS-02	Revision: A	

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Development & Construction & Engineering & Technology & Logistics &
Construction & Management & Environmental & Sustainability

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PA21/01757 DWH Street Scene

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The status of this drawing cannot be assumed
 Approved: A (Author) to Issue: Planning (Issue), 02/05/23, CDR, JF
 materials and house types.



STREET ELEVATION AA



STREET ELEVATION BB



STREET ELEVATION CC



STREET ELEVATION DD



KEY PLAN

SARRATT

DAVID WILSON HOMES
 01603 600111

Project:
 Treleeda
 Salsburgh
 Drawing Title:
 Street Scene Elevations

Rev:	Scale:	Drawn by:	Check by:
11/09/20	1:500 (A3)	CB	JF
Project No:	Drawing No:	Revision:	
20803	TRE 55 01	A	

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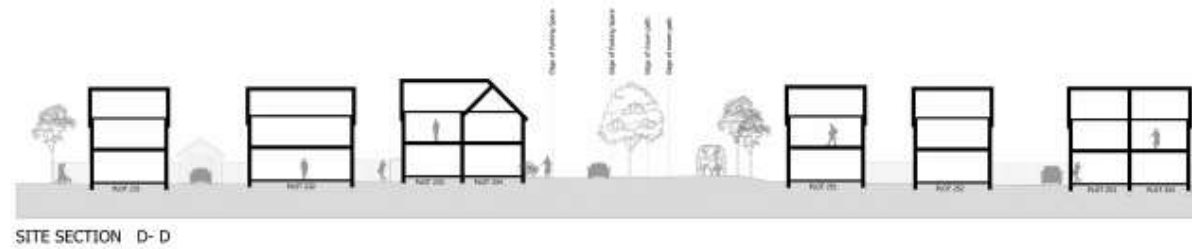
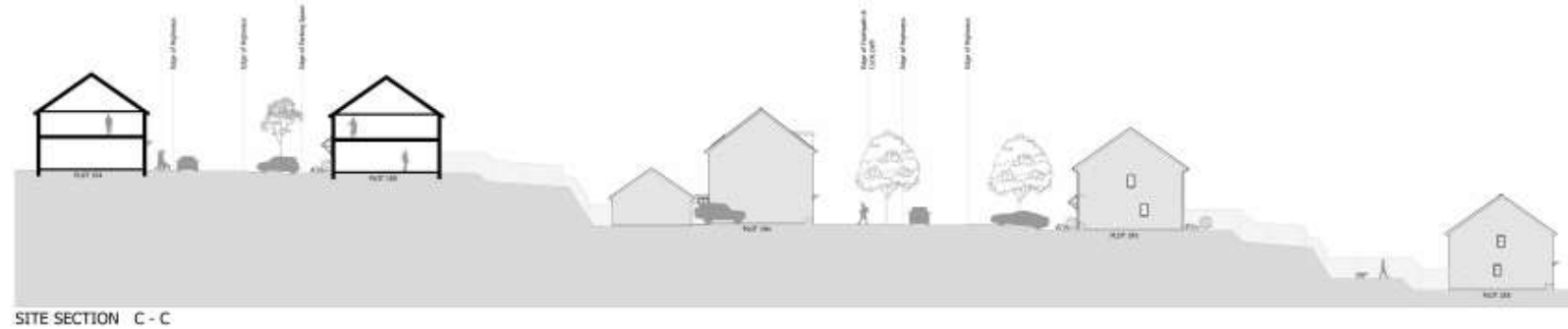
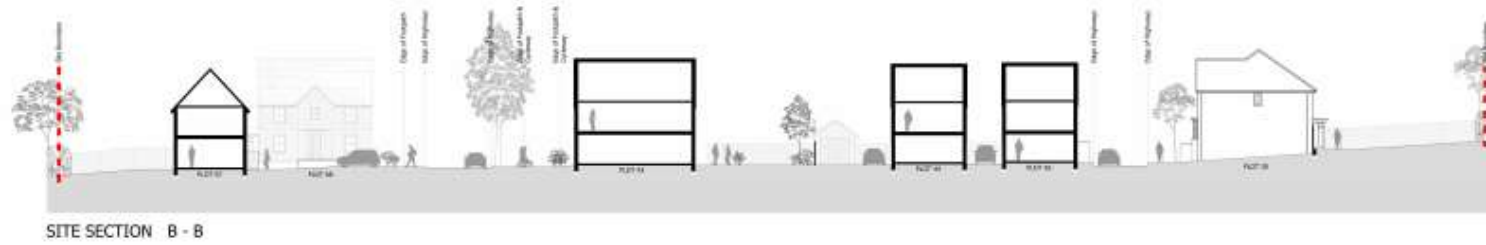
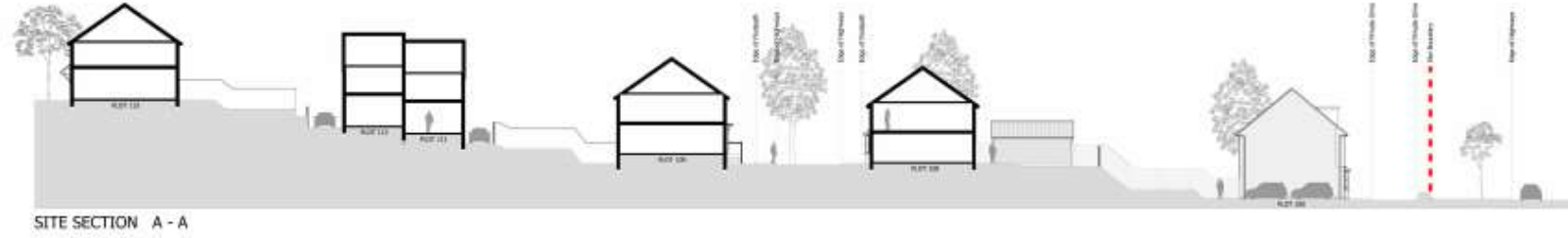
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 Landscape Planning & Design • Environmental & Sustainability Consulting •
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PA21/01757

Site Sections

Page 116

Do not scale from this plan for construction purposes
 Revision A: 05/06/2021 to Urban Planning Layout Date: 20/03/21 Drawn: JF Checked: JT



Project:
Trelleford
Saltash
Site Sections

Date: 20/03/21
 Scale: 1:500 (A1)
 Project No: 25605
 Drawing No: TRE-SE-01

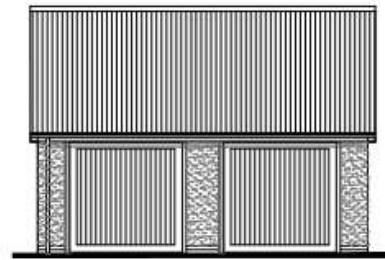
Drawn by: JT
 Checked by: JT
 Revision: A



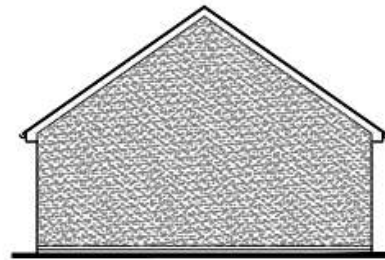
PA21/01757

Garage
Types

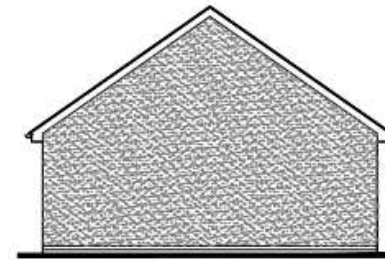
Page 117



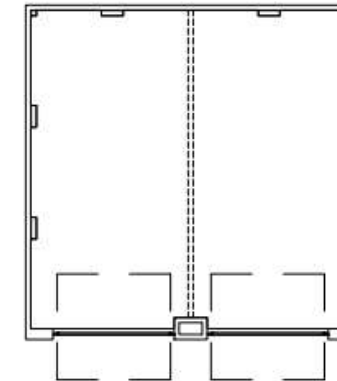
FRONT ELEVATION
EAVES



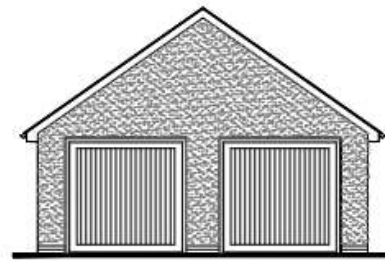
SIDE ELEVATION



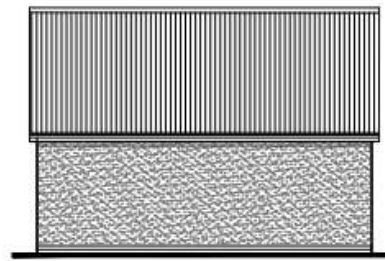
REAR ELEVATION



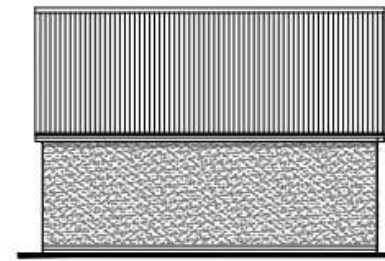
FLOOR PLAN
DOUBLE



FRONT ELEVATION
EAVES



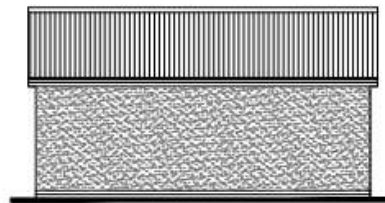
SIDE ELEVATION



REAR ELEVATION



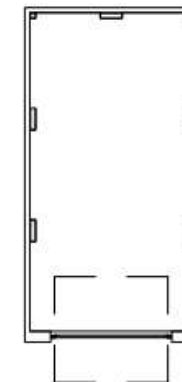
FRONT ELEVATION
FRONT GABLE



SIDE ELEVATION



REAR ELEVATION



FLOOR PLAN
SINGLE

Do not scale from this plan for construction purposes				
Revision		Date	Drn	Ckd
A	Added double garage gable front	25.01.21	CB	JT



Project
**Treledan,
Saltash**
Drawing Title
**Housetype Planning Drawing
Garages Types**

Date 14.10.20	Scale 1:100@A3	Drawn by CB	Check by JK
Project No 26865	Drawing No TRE-HT-GAR-01	Revision A	

Materials

*Off white render to all garage.
*White garage doors to all bays.
*Black garage doors to all bays.
*Black horizontal goods to all plots.
*White fascia / barge boards to all plots.
*Refer to Materials Plan for roof material choice.

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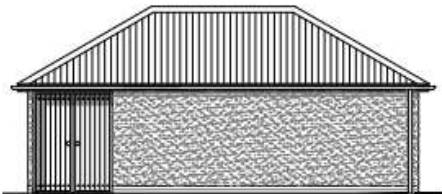
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PA21/01757
Bin & Cycle
Store

Page 118

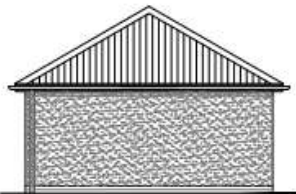
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Revision Date Dm Ckd



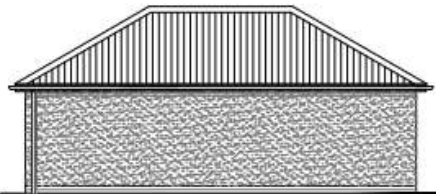
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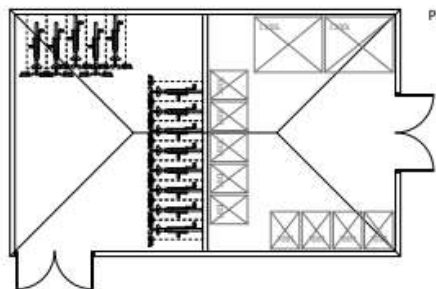
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SIDE ELEVATION



FRONT ELEVATION

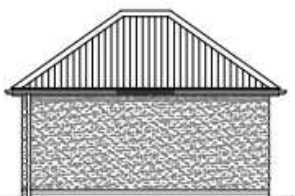


FLOOR PLAN

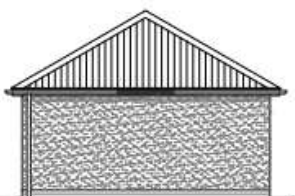
PLOTS: 87-90, 78-86



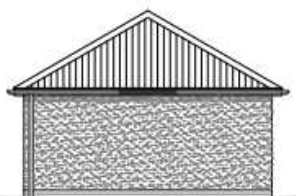
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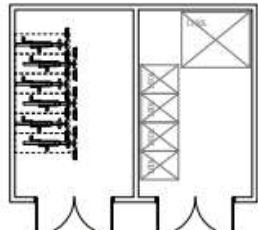
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SIDE ELEVATION

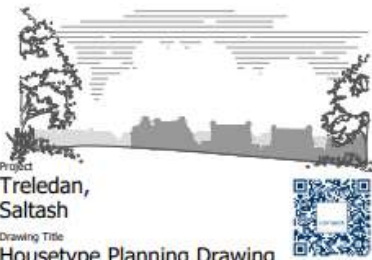


SIDE ELEVATION



FLOOR PLAN

PLOTS: 262-263h, 264-265



Drawing Title
Housetype Planning Drawing
Bin and Cycle Store

Date	Scale	Drawn by	Check by
14.10.20	1:100@A3	CB	JK
Project No	Drawing No	Revision	
26865	TRE-HT-BIN/CYCLE-01	-	

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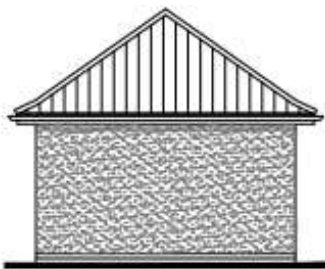
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Landscape Planning & Design • Infrastructure & Environmental Planning •
Heritage • Graphic Communication •
Communications & Engagement • Development Economics

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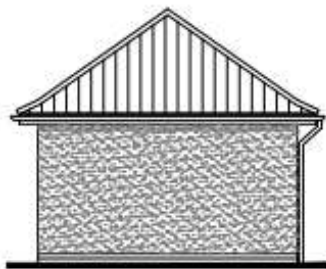
Offices at Birmingham Bristol Cambridge Cardiff Exeter Edinburgh
Glasgow Leeds London Manchester Newcastle Nottingham Southampton



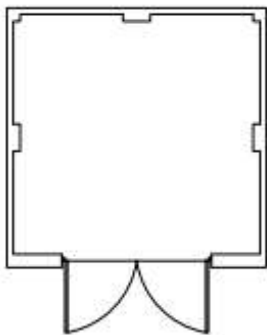
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



FLOOR PLAN



Project
**Treledan,
Saltash**
Drawing Title
**Housetype Planning Drawing
Substation**

Date 14.10.20	Scale 1:100@A3	Drawn by CB	Check by JK
Project No 26865	Drawing No TRE-HT-SUB-01	Revision -	

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1. Public Comment - 26.02.21.

- **Storage of Waste and Recycling:**
- **Better to service containment for individual properties rather than large communal wheeled bins/bin stores as this reduces fly-tipping etc.**
- **Responsibility for fly-tipping will fall to the developer not Cornwall Council.**
- **If providing bin stores contact from developer required to enable Biffa Environmental Municipal Services to assess to ensure they can service proposed bin areas/stores.**

2. Public Objection - 28.02.21.

- **Highway Issues: traffic generation, vehicular access.**
- **Deficiencies in social facilities, spaces in school, local GP surgeries.**
- **Loss or effect on trees.**

3. Public Objection – 11.03.21.

- National Planning Policies: NPPF para 134b.
- Deficiencies in social facilities e.g. Dentists, Doctors, maintenance of play areas, other support services.
- Highway issues: traffic generation, vehicular access, highway safety.
- Overlooking and loss of privacy.
- Loss or effect on trees.
- Layout and density of building design, visual appearance and finishing materials.
- Effect on listed buildings and conservation areas.
- Capacity of physical infrastructure, e.g. in the public drainage or water systems.

4. Public Objection – 14.03.21.

- Noise or disturbance resulting from use.
- Overlooking and loss of privacy.
- Effect on listed buildings.
- Layout and density of building design.

5. Public Objection – 15.03.21.

- **Layout and density of building design, visual appearance and finishing materials.**
- **Deficiencies in social facilities e.g., Roads, GP Surgeries, Dentists, Policing Levels.**
- **Adverse impact on nature conservation interests and biodiversity opportunities.**
- **Loss or effect on trees.**
- **Highway issues: traffic generation, vehicular access, highway safety.**

6. Public Comment – 16.03.21.

- **Very near the proposed Roundabout on the A388 there is a Heritage England listed II (2) mile to Saltash Milestone. Please can this Milestone be protected during and after development. If it is necessary for it to be moved during Development please can it be reinstalled as close to its original site as possible.**

Planning Applications

8c

PA21/00082 – 12 Gallacher Way Saltash PL12 4UT

Retention of conversion of double garage into an additional bedroom with ensuite with no amendments to size.

Response Date: 23.03.21.

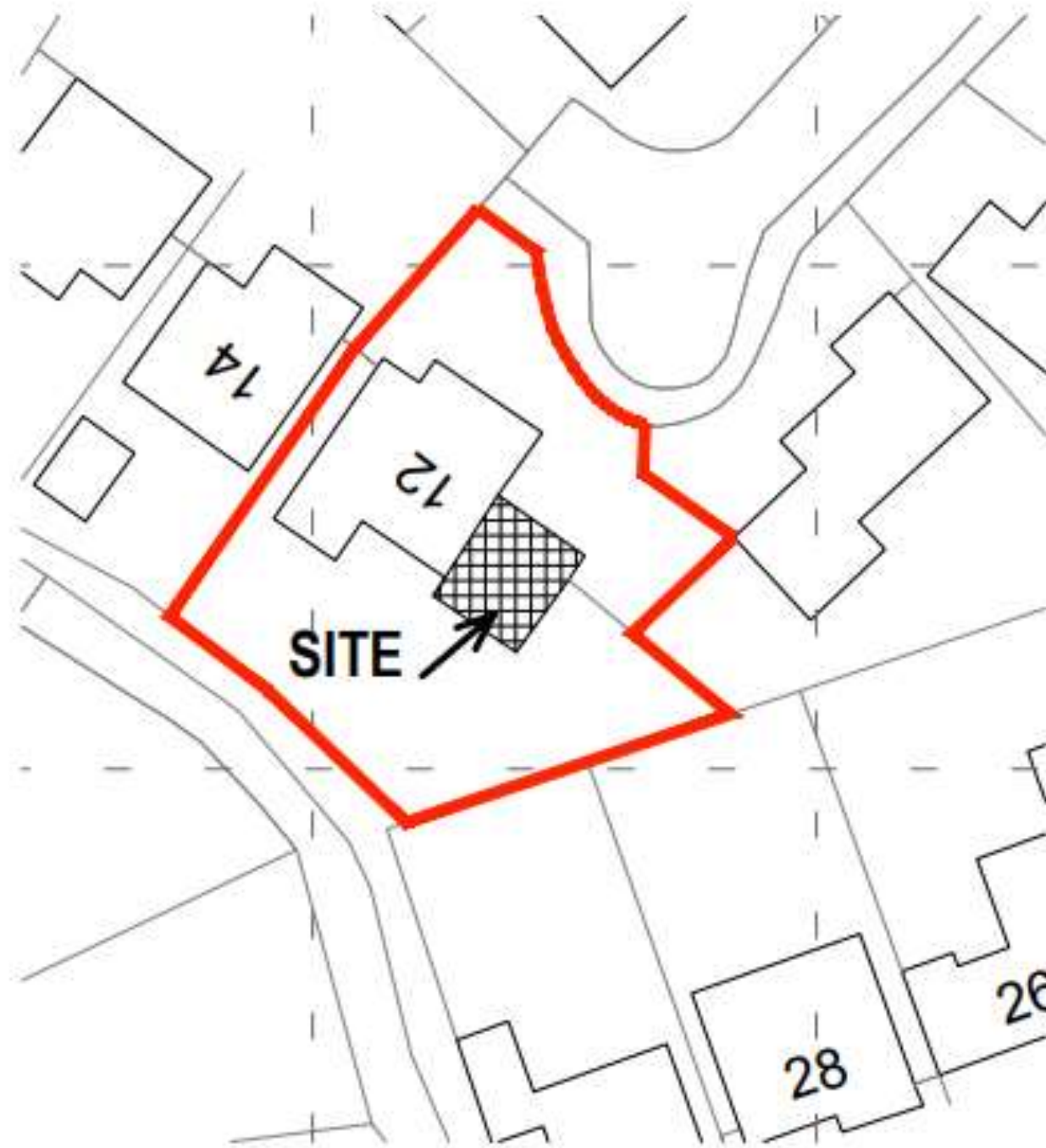
PA21/00082
Location Plan

Page 124



PA21/00082
Block Plan

Page 125



Conversion of Double Garage into Bedroom with En-suite
Before and After Pictures

Before



After



Front of the property (NE: 39°)



Rear of the property (SW: 215°)



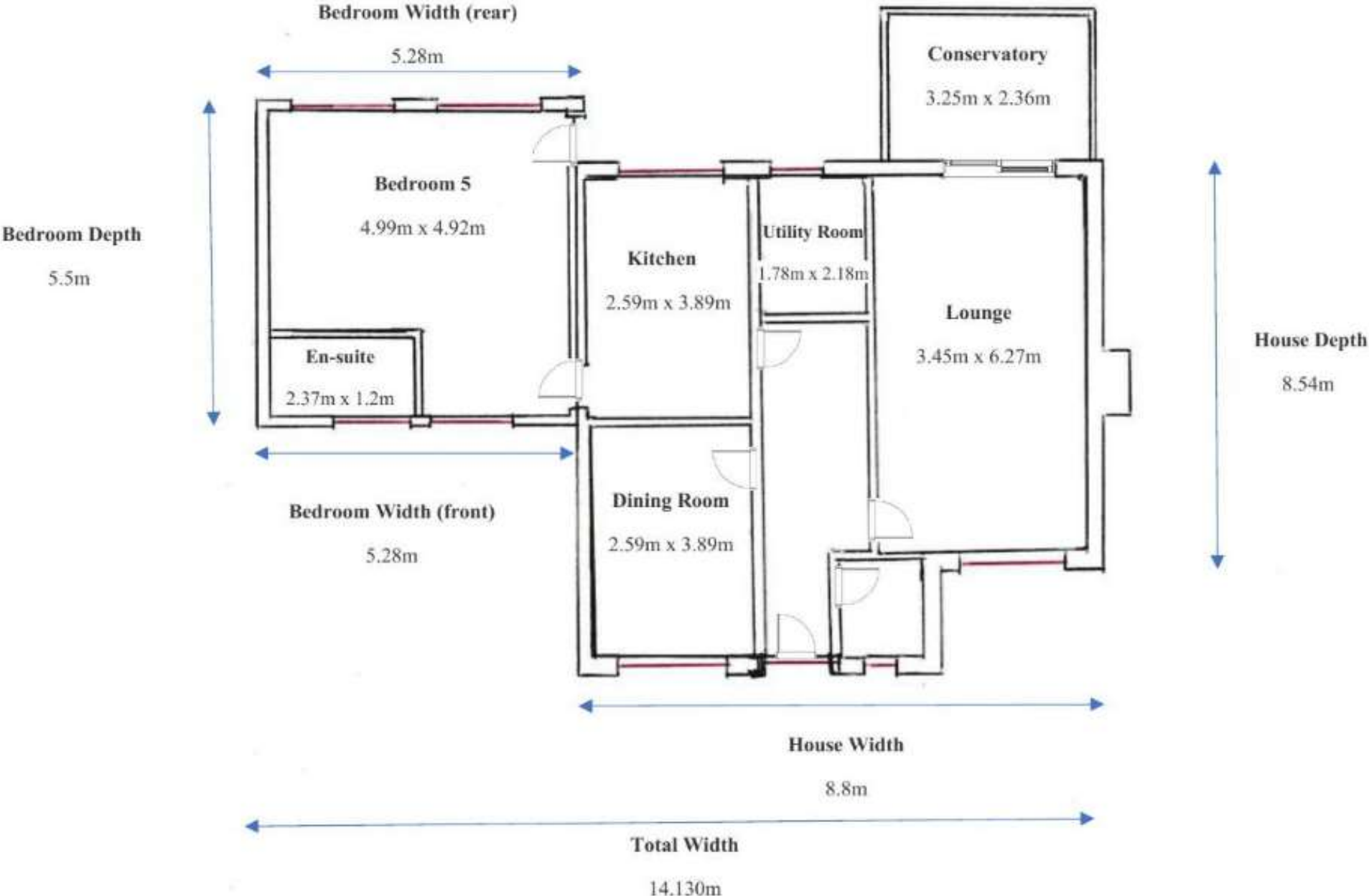


- North-East (39°) facing wall of the property
- Garage doors replaced with brickwork and windows fitted
- Bricks and windows in keeping with the style of the estate
- Window “1350mm x 750mm”



- South-West (215°) facing wall of the property
- Lintels in place, ply wood to strengthen and windows fitted
- Windows in keeping with the style of the estate
- Windows “1700mm x 1100mm”

Scale 1:100

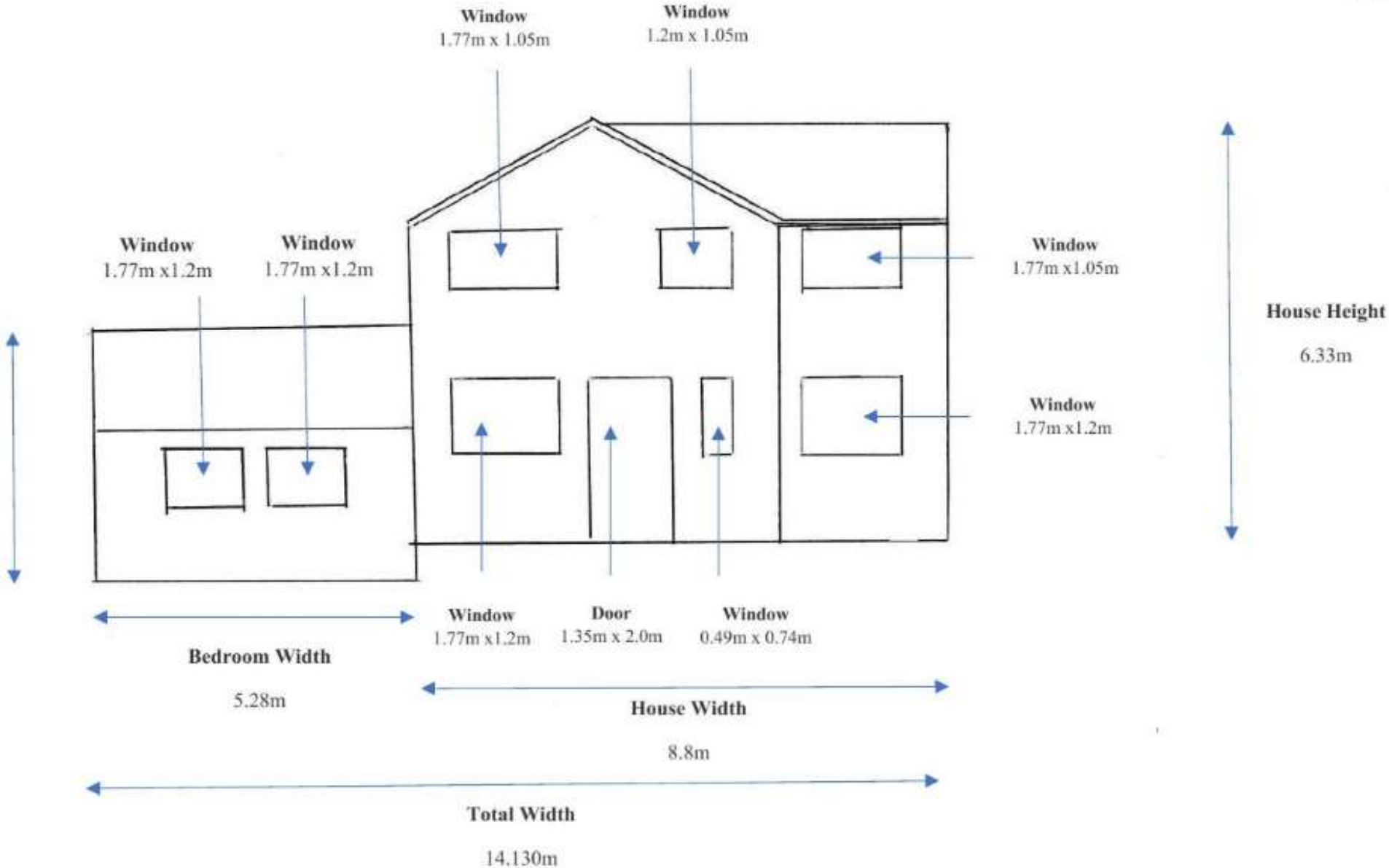


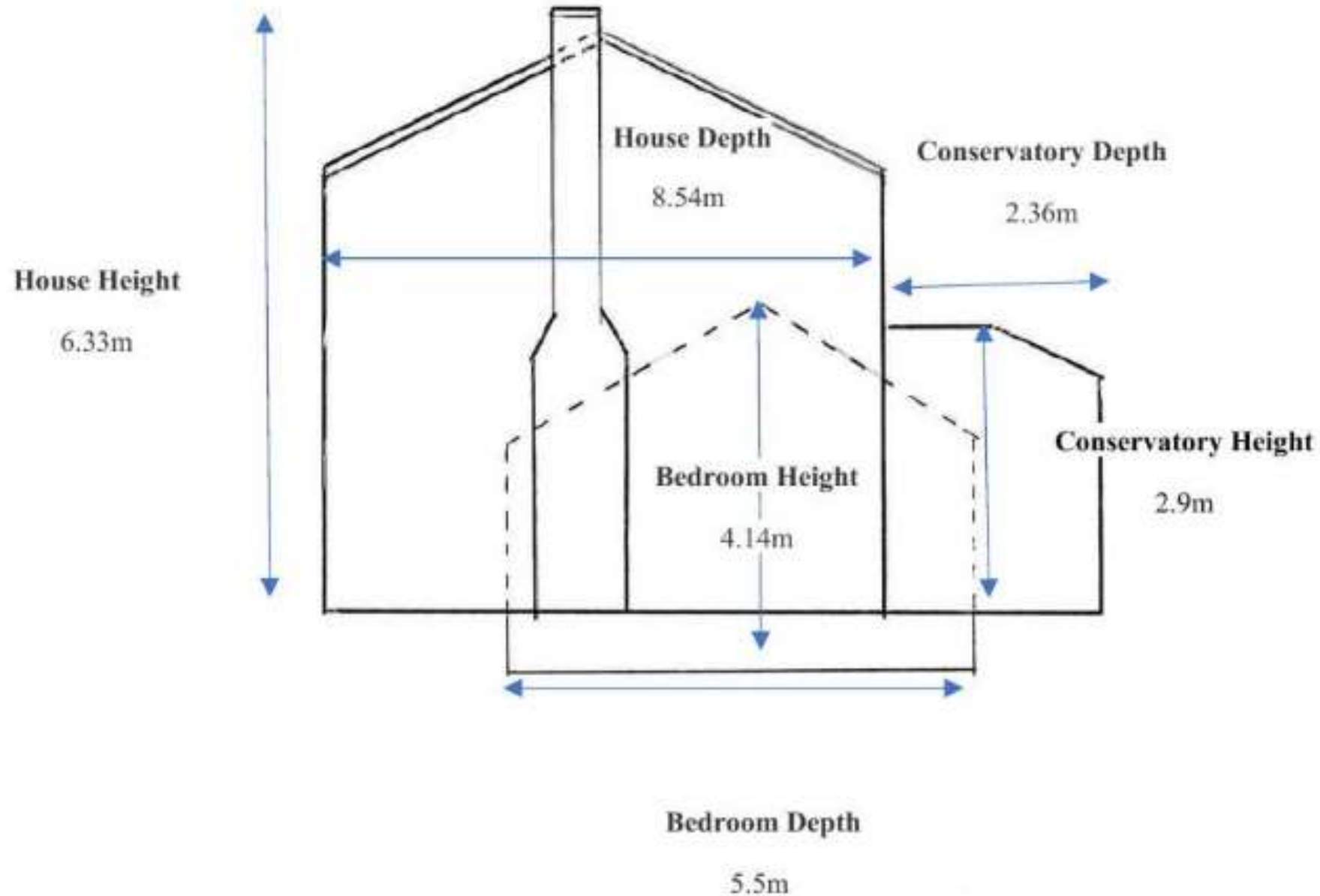
PA21/00082 – North East Elevation – Completed building work

Page 130

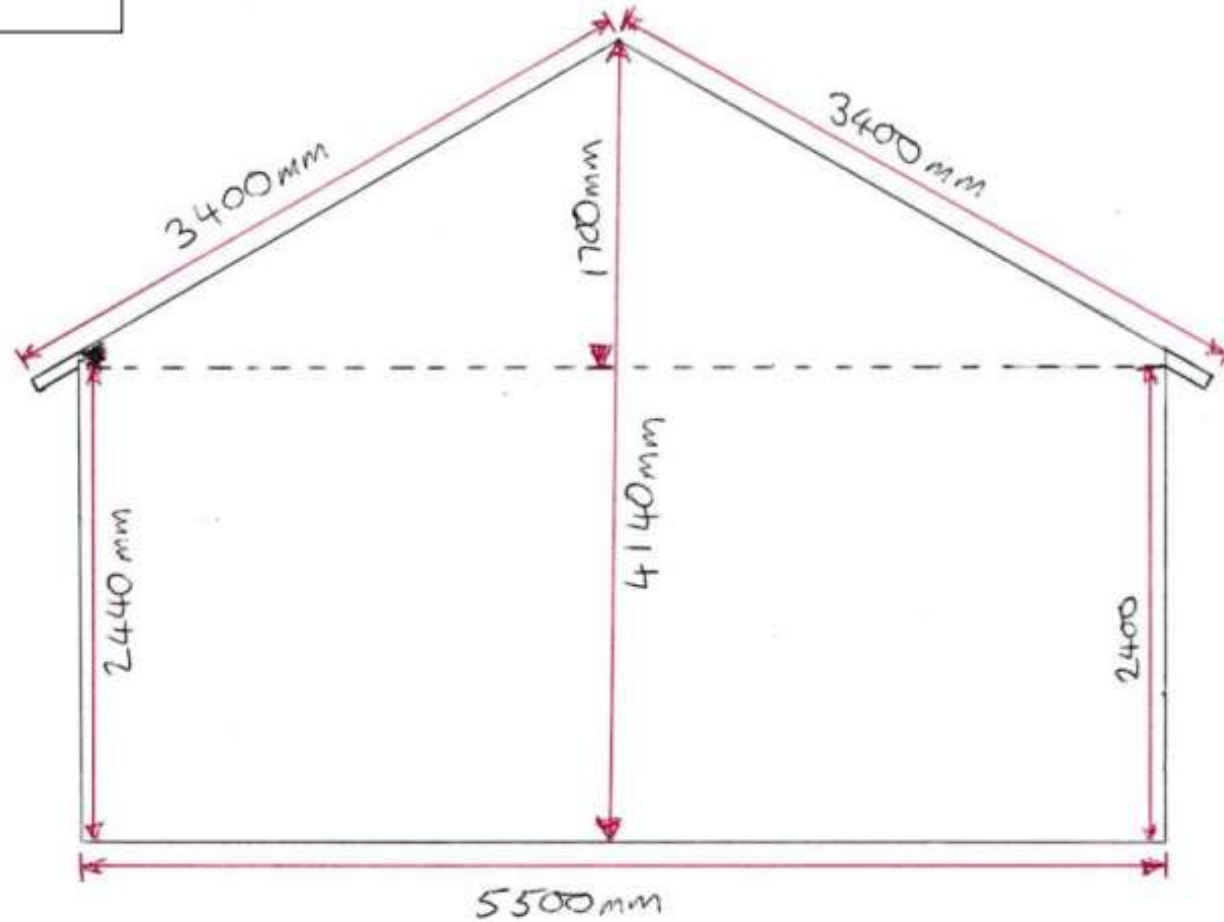
Front of the property
(NE: 39°)
Scale 1:100

Bedroom Height
4.14m





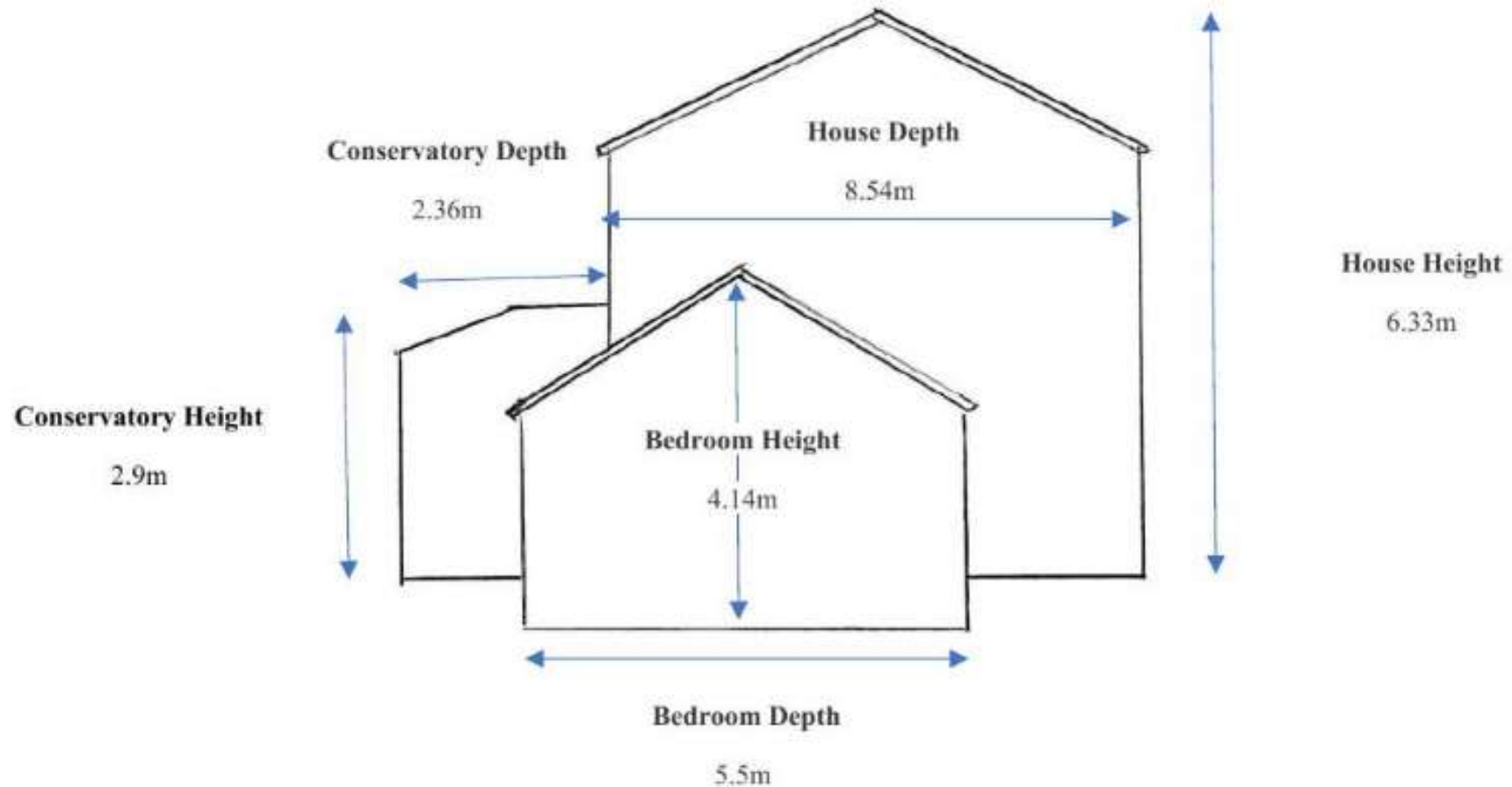
**Side profile of
 Garage**
*No changes under
 proposal*



Scale 1:30

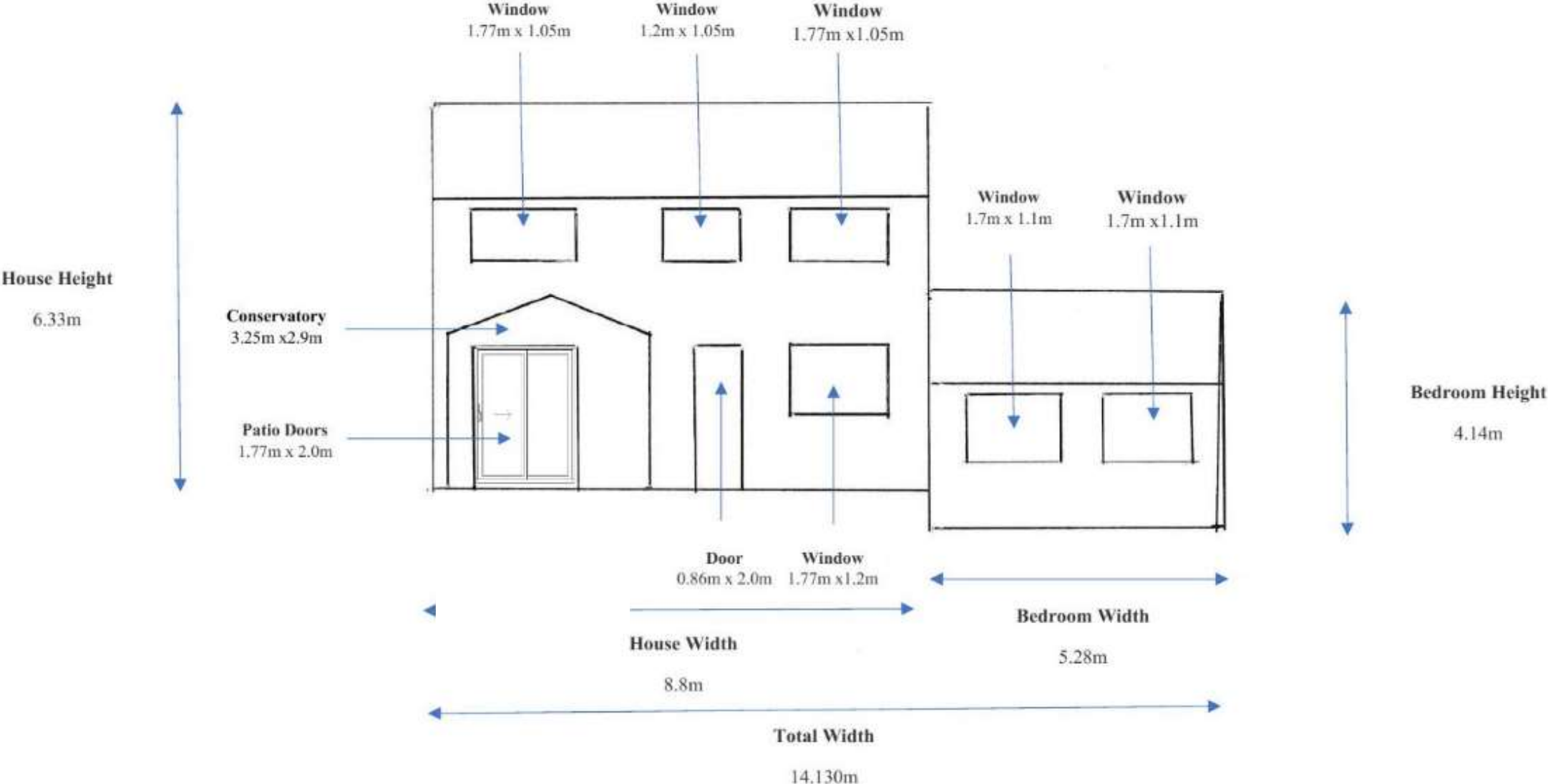
PA-21/00082: 12 Gallacher Way
Conversion of Double Garage into Bedroom with En-suite
Drawings of Completed Building Work

Side of the property
(SE 129°)
Scale 1:100



PA-21/00082: 12 Gallacher Way
Conversion of Double Garage into Bedroom with En-suite
Drawings of Completed Building Work

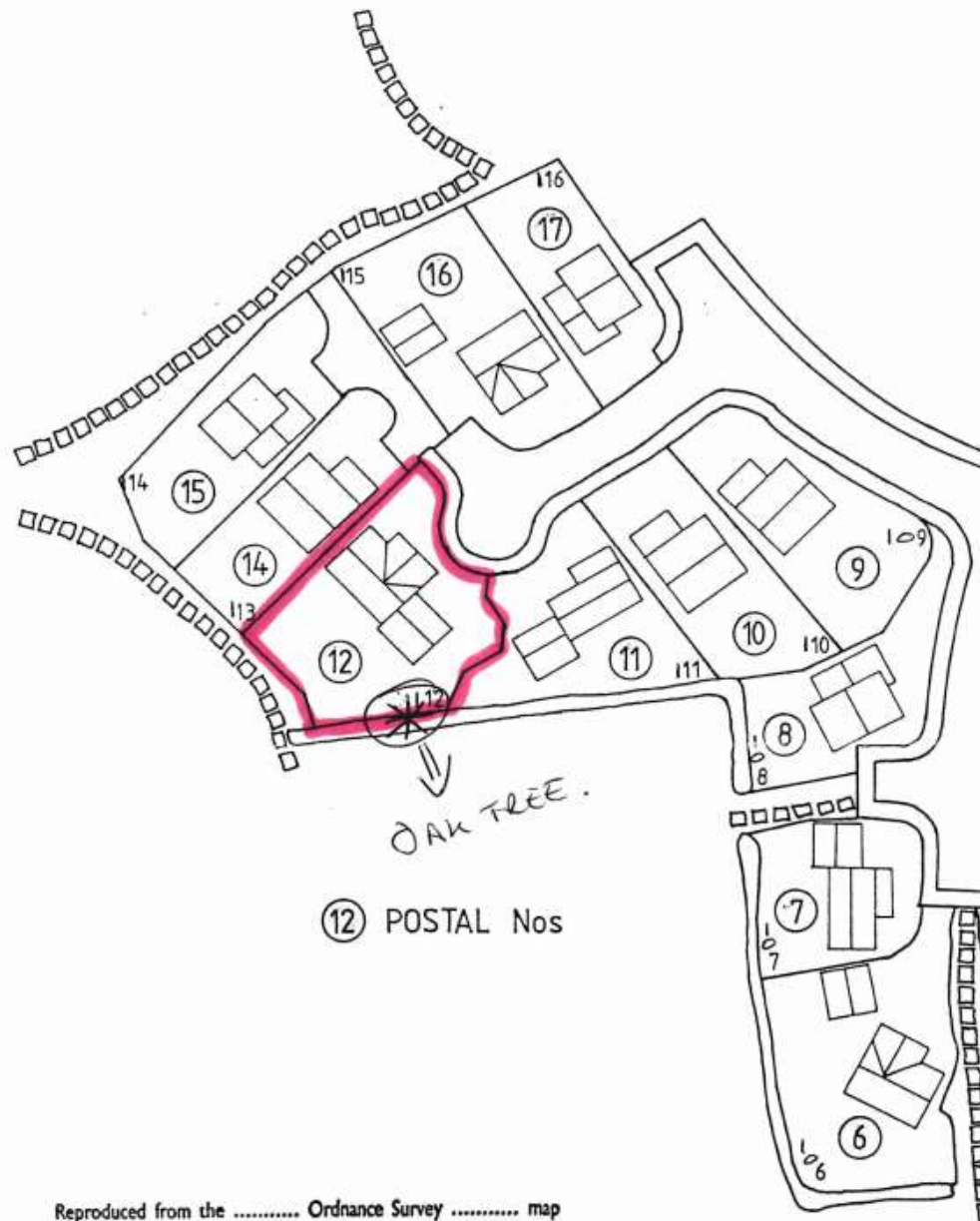
Rear of the property
(SW: 219°)
Scale 1:100



PA21/00082
Trees & Hedges
Location

Page 135

(7) TREES + HEDGES.



(12) POSTAL Nos

Public Objection – 16.03.21.

Overlooking and loss of privacy if the Oak Tree on the boundary between our properties is removed. If the tree is preserved and remains in place then we have no objections to the Planning Application.

Planning Applications

8c

PA21/00980 – Longlands Bungalow Longlands Lane

Proposed Extension.

Response Date: 30.03.21.

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A Dec 1st 2023 - (Gearing started)

⁸⁸ PROPOSED EXTENSION

Scale 1:200	Sheet No.
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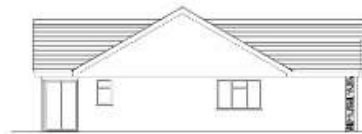
(MAY)	MAY 20	Reviews and design	3670/8A
		CONCRETE	

Customers must check all dimensions on site. Only figured dimensions are to be worked from. All discrepancies must be reported immediately to the Superintending Officer before proceeding.
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Figure 1 is a horizontal bar chart showing the distribution of the number of species (n) for different numbers of genera (N). The x-axis is labeled n and ranges from 0 to 10,000. The y-axis is labeled N and ranges from 0 to 100. The bars represent the number of species for each number of genera. The distribution is highly skewed, with most genera having a small number of species ($n < 1000$) and a few genera having a large number of species ($n > 1000$).

PA21/00980

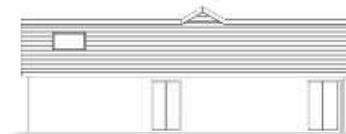
Location &
Block Plan
& Existing
Floor Plan &
Elevations



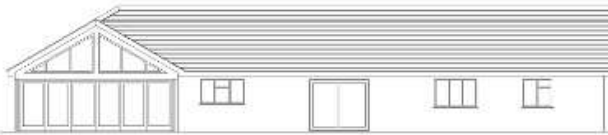
WEST



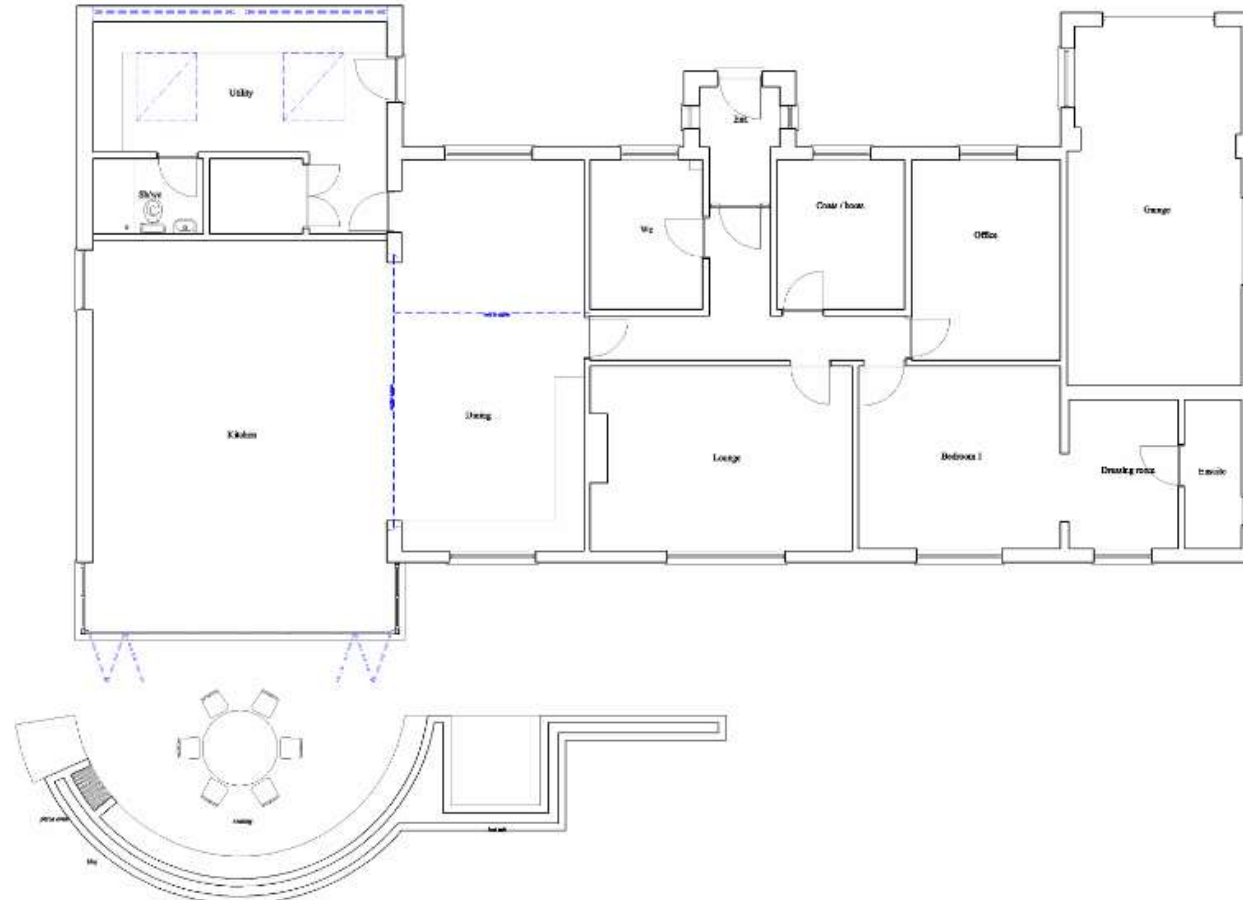
SOUTH



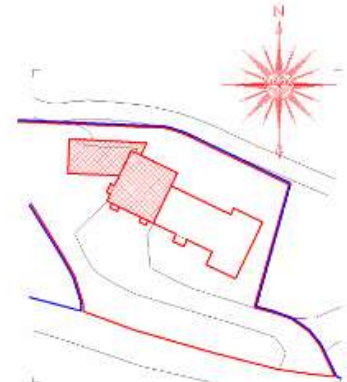
EAST



NORTH



FLOOR PLAN



BLOCK PLAN (1:500)
Ordnance Survey licence number 100012866



LOCATION PLAN (1:2500)
Ordnance Survey licence number 100012866
MR. AND MRS HODGE
LONGLANDS BUNGALOW
SALTASH
PL12 4QQ

PROPOSED EXTENSION

EXISTING

ANDREW THOMAS
ARCHITECTS
PLANNING
CONSULTANTS
PL12 4QQ
SALTASH
SARUM
ANDREWTHOMASARCH.CO.UK
01752 812345

3670/7

SCALE 1:50 1:100
DATE MAY 20
DRAWN BY
CHECKED BY
APPROVED BY

3670/7

3670/7

3670/7

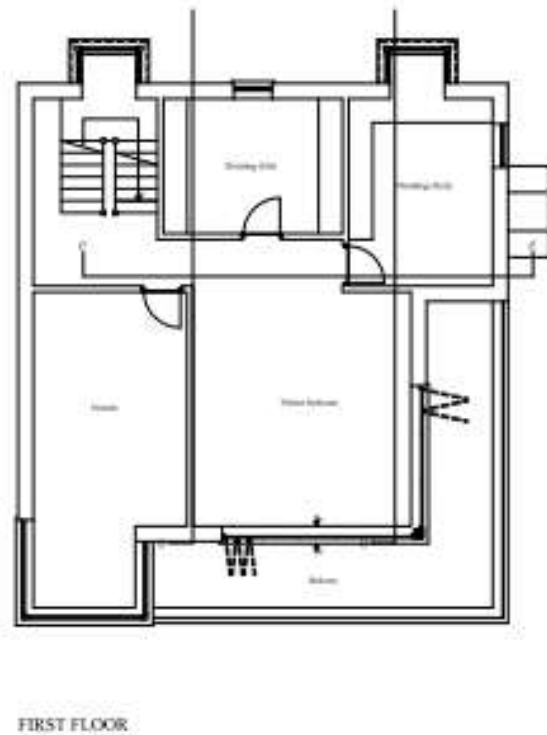
PA21/00980

Proposed

First Floor

Plan & East & North

Elevations



MR. AND MRS HODGE
LONGLANDS BUNGALOW
SALTASH
PL12 4QQ

PROPOSED EXTENSION

PROPOSED

1:50 1:100

MAY 20 3670/11D

3670/11D

PA21/00980

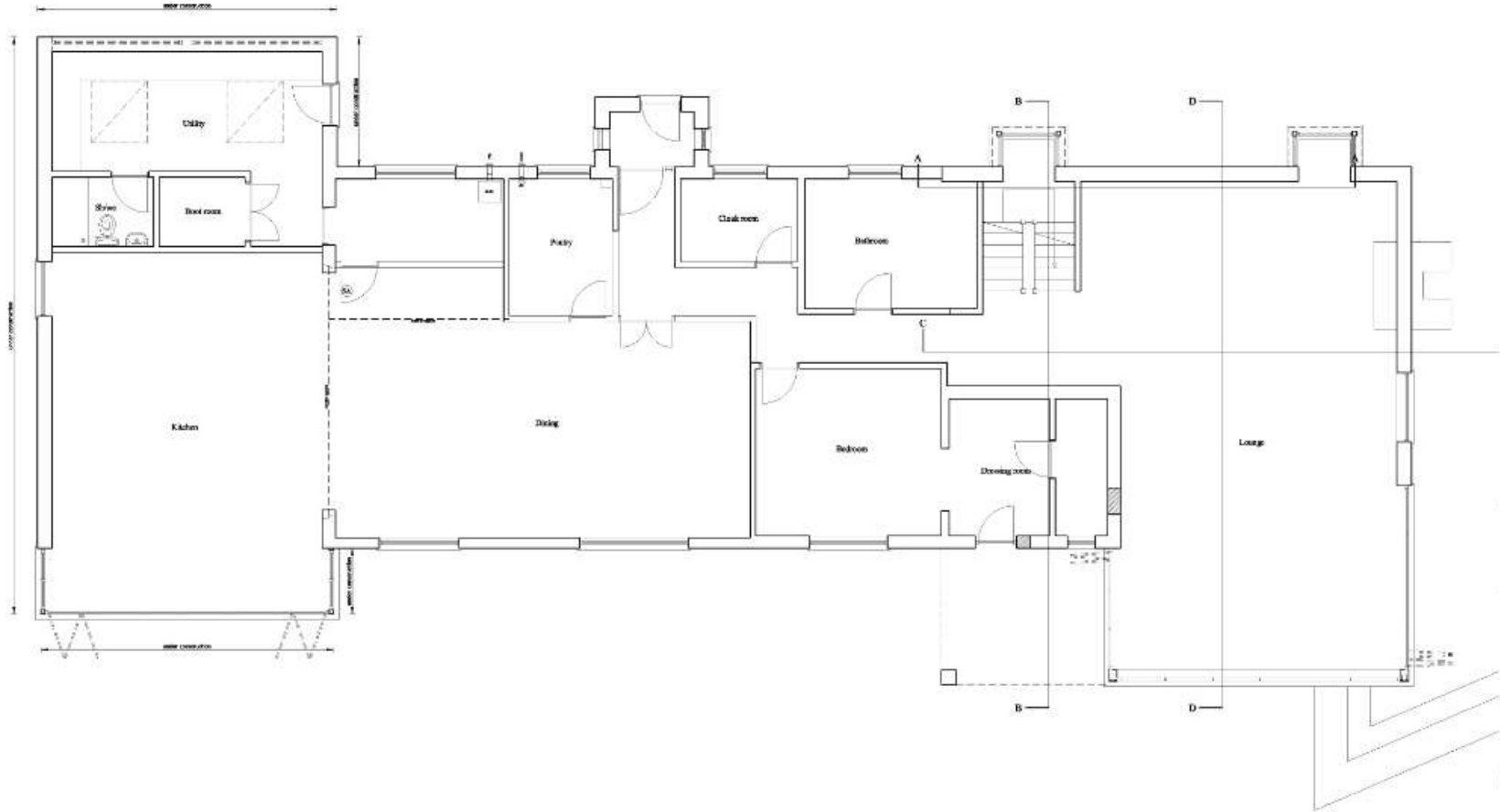
Plan

Proposed

Mixed

Elevations &

Floor Plan



MR. AND MRS HODGE
 LONGLANDS BUNGALOW
 SALTASH
 PL12 4QQ

PROPOSED EXTENSION

PROPOSED

3670/10C

1:50 1:100

MAY 20

3670/10C

1:50 1:100

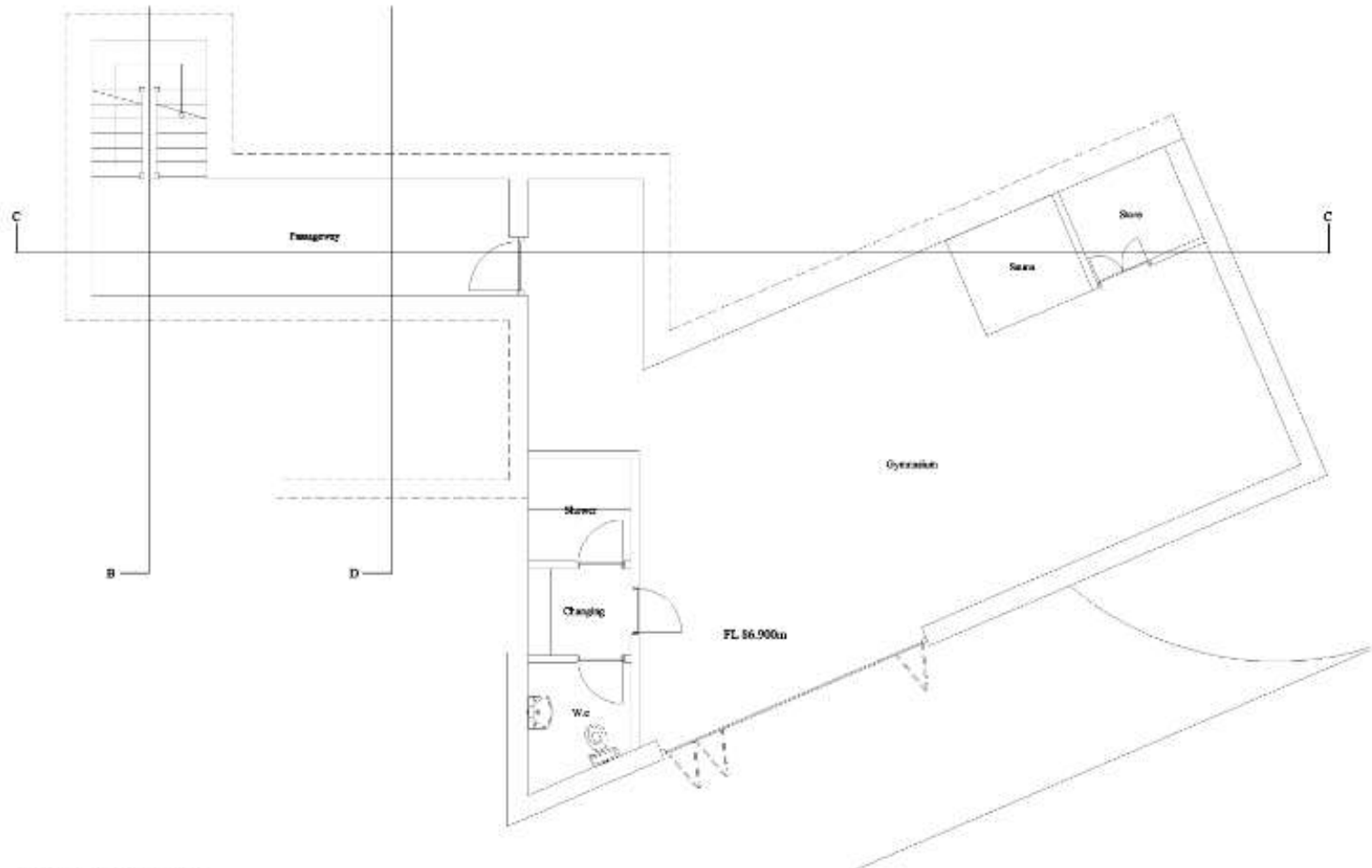
1:50 1:100

1:50 1:100

© 1998 January 2003 - drawing amended
 © 2001 July 2003 - drawing amended
 A 198 May 2008 - drawing amended

PA21/00980
Proposed Floor
Basement Plan

Page 142




BASEMENT PLAN

B 19th January 2021 - drawing amended
A 2nd July 2020 - drawing amended

CLIENT MR. AND MRS HODGE
LONGLANDS BUNGALOW
SALTASH
PL12 4QQ

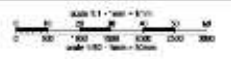
PROPOSED EXTENSION

PROPOSED



THE OLD CHURCH
CHURCH ROAD
BROOKLYN
LONDON
E16 3AB
TEL: 0208 2871111
FAX: 0208 2871111
E-MAIL:
ANDREW@ANDREWTHOMAS.CO.UK
WWW:
ANDREWTHOMAS.CO.UK

SCALE 1:50
DATE MAY 20
DRAWN BY AND CADD
CHECKED BY
3670/9B
Comments: none checked all dimensions in situ. Only diagonal dimensions are to be worked from. All dimensions must be repeated to secondary in the Super-lying Office before proceeding.
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Planning Applications

8d

Tree Applications:

Planning Applications

8d

PA20/11518 – Coombe Barn Babis Lane St Stephens

Proposal to fell T1 and T2.

Response Date: Extension to 19.03.21.

PA20/11518

Excerpt from
Application Form

Page 145

5. Identification of Tree(s) and Description of Works

Where trees are protected by a Tree Preservation Order you must also provide:

- Reasons for the work; and where trees are being felled
- Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

e.g. Oak (T3) - fell because of excessive shading and low amenity value. Replant with one standard ash in same position.

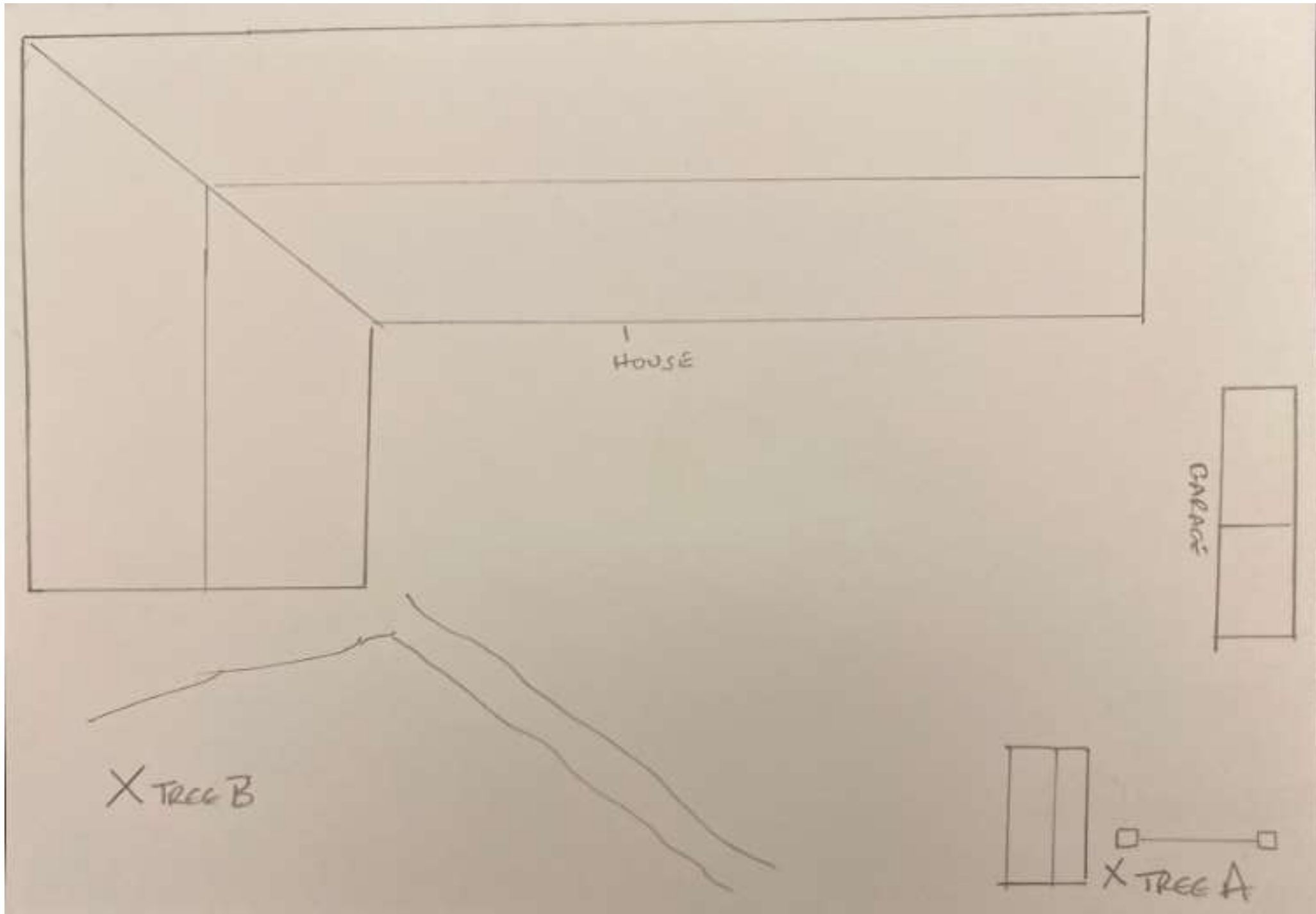
ASH T1 By the front left hand gate. fell because of rot at base and ash dieback

Ash T2 by the house fell because of crack in limb and ash dieback

both trees have been looked at by council tree officer and have had his agreement

PA20/11518
Sketch Plan

Page 146



Planning Applications

8d

PA21/01008 – 14 Ashton Way Saltash PL12 6JE

Proposed crown lift and reduction T1. And proposal to fell T2.

Response Date: Extension to 19.03.21.

5. Identification of Tree(s) and Description of Works

Please identify the tree(s) and provide a full and clear specification of the works you want to carry out.

You might find it useful to contact an arborist (tree surgeon) for help with defining appropriate work.

Where trees are protected by a Tree Preservation Order, please number them as shown in the First Schedule to the Tree Preservation Order where this is available. You should use the same numbering on your sketch plan (see help for sketch plan requirements).

Please provide the following information:

- Tree species
- The number used on the sketch plan); and
- A description of the proposed works.

Where trees are protected by a Tree Preservation Order you must also provide:

- Reasons for the work; and where trees are being felled
- Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

e.g. Oak (T3) - fell because of excessive shading and low amenity value. Replant with one standard ash in same position.

various works



Page 150

 **CTS**
COMBINED TREE SERVICES
TREE SURGEONS LTD

Not included

Planning Applications

8e

Tree Notifications: None.

Agenda Item

9

Consideration of Licence Applications: None.

Agenda Item 10a

Correspondence:

**St Austell China Clay Restoration and Tipping
Supplementary Planning Document Consultation.**

Agenda items 11-13

Public Bodies (Admission to Meetings) Act 1960:

To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

To consider any items referred from the main part of the agenda.

Public Bodies (Admission to Meetings) Act 1960:

To resolve that the public and press be re-admitted to the meeting.

Agenda item 14-16

To consider urgent non-financial items at the discretion of the Chairman.

Press and social media releases.

Date of next meeting: Tuesday 20th April 2021 at 6.30 p.m.

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St Austell China Clay Restoration and Tipping Supplementary Planning Document (SPD)

Cornwall Council is publishing the draft St Austell China Clay Restoration and Tipping Supplementary Planning Document for a statutory 6-week consultation period between 3rd March and 5pm on 14th April 2021. The draft SPD provides operational, technical and detailed guidance to support future china clay extraction and restoration. The draft SPD assesses the effectiveness of current restoration and presents a strategy for future restoration to ensure environmental improvement and recognise that there are opportunities for alternative after-uses.

We are asking for your comments in order to understand your thoughts on the St Austell China Clay Restoration and Tipping SPD prior to its adoption by the Council.

Once adopted, the SPD will sit beneath the Cornwall Local Plan: Strategic Policies and Mineral Safeguarding DPD and will be used as guidance.

Copies of the document can be downloaded from:
<https://www.cornwall.gov.uk/chinaclayspd>

How to view the document and comment

Due to the ongoing situation caused by Covid-19, the consultation will be held predominantly on-line. This is to protect the health of our communities. We recognise that people may want to contribute ideas and comments through other means – if you are unable to view the document in any other way, we can provide a paper copy of the document.

If you have any questions please email: minsplanning@cornwall.gov.uk or call 0300 1234 151

Representations should be made using the provided representation form available online at <https://www.cornwall.gov.uk/chinaclayspd>

Completed Representation Forms should be submitted via email to:

minsplanning@cornwall.gov.uk

Or by post to:

Local Plans – Minerals Policy
Cornwall Council
3B Pydar House, Pydar Street
Truro, Cornwall. TR1 1XU

Should you wish your name to be removed from our list of consultees please notify the Local Plans Team by emailing: minsplanning@cornwall.gov.uk or by phoning 0300 1234 151

Yours faithfully,

Planning & Sustainable Development

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